

**AGENDA  
NORTHPORT PLANNING AND ZONING COMMISSION  
TUESDAY, JULY 8, 2025**

- 1. CALL TO ORDER (INCLUDING INVOCATION)**
- 2. ROLL CALL AND ESTABLISHMENT OF A QUORUM**
- 3. INTRODUCTIONS AND MEETING PROCEDURES**
- 4. APPROVAL OF MINUTES OF PREVIOUS MEETING(S)**
  - A. June 10, 2025
- 5. VERIFICATION OF NO CONFLICT OF INTEREST**
- 6. VERIFICATION OF PROPER NOTIFICATION**
- 7. DISCLOSURE OF EX PARTE COMMUNICATION**
- 8. OLD BUSINESS**
  - A. **S-25-10 University Beach, LLC** - University Beach is requesting preliminary plat approval of approximately 61.2 acres located north of McFarland Boulevard and east of Harper Road.
  - B. **S-25-12 Washington Addition to Tuskaloosa Street** - Montgomery and Hinkle is requesting preliminary plat approval of approximately 0.21 acres located at 1211 Bridge Avenue.
  - C. **SP-25-2 Nellie Mae and Company, LLC** - Nellie Mae and Company, LLC requests conditional use approval for pet grooming in a Residential/Commercial/Institutional zone (RCI) for the property located at 703 Main Avenue. **INCOMPLETE APPLICATION, APPLICANT HAS REQUESTED TO CONTINUE TO AUGUST MEETING. ACTION NEEDED.**
- 9. NEW BUSINESS, INCLUDING ANY PUBLIC HEARING REQUIRED WITH EACH AGENDA ITEM**
  - A. **R-25-7 MKW Holdings** - Montgomery and Hinkle is requests rezoning approval of approximately 0.12 acres from Residential Single Family (RS-4) to Suburban Mixed-Use (SMX) located at 1211 Bridge Avenue.
  - B. **S-25-14 W&M Subdivision** - Herndon, Hicks and Associates is requesting preliminary plat approval of approximately 0.40 acres located at 1802 18th Avenue.

- C. **S-25-15 Boozer Subdivision** - Herndon, Hicks and Associates is requesting preliminary plat approval of approximately 21.63 acres located at 4105 Flatwoods Road.
- D. **S-25-16 82 West Subdivision** - Herndon, Hicks and Associates is requesting preliminary plat approval of approximately 8.7 acres located at 5105 McFarland Boulevard.
- E. **S-25-17 Thornton's Resurvey of East Knollwood** - Montgomery and Hinkle is requesting preliminary plat approval of approximately 5.5 acres located at 13777 Frank Lary Road.
- F. **ANX-25-4 Benjamin Caleb New** - Benjamin Caleb New requests annexation of approximately 1.46 acres located at 13469 Mount Olive Road.
- G. **ANX-25-5 Dorothy Tucker** - Dorothy Tucker requests annexation of approximately 1 acre located at 10470 Jones Road.
- H. **SP-25-4 West End Management, LLC** - West End Management, LLC requests conditional use approval for minor automotive repair in a General Commercial (C-3) zone for the property located at 2118 Lurleen B Wallace Boulevard.
- I. **R-25-8 Boozer Subdivision** - Herndon, Hicks and Associates is requesting rezoning of approximately 21.63 acres from Agricultural (AG) to Residential Single-Family (RS-1) for the property located at 4105 Flatwoods Road.

## **10. COMMITTEE REPORTS**

## **11. OTHER AND MISCELLANEOUS BUSINESS**

## **12. ADJOURNMENT**

## Northport Planning and Zoning Commission Meeting Procedures

- I. The Chairman calls for the next agenda item.
- II. Staff provides a summary of the case and answers any questions from the Commission.
- III. The applicant or petitioner presents his or her request and provides information in support of the application and answers any questions from the Commission.
- IV. If a public hearing is needed, the Chairman will ask for anyone present who would like to provide input regarding the request.
- V. The Commission members may discuss details and issues raised, and may ask questions of the applicant, city staff, or other parties.
- VI. The Chairman will call for a motion to be read and a second, and the Chairman may ask if further discussion by the Commission is needed.
  - i. Motions for a vote and second will be made for each item in a positive fashion. The purpose of which is to allow the Commission to vote on a motion. Members making the motion or second are not obligated to vote in the affirmative for said motion.
  - ii. Waivers may be added to the motion for approval of a preliminary plat if listed verbally in the motion. If it is requested by any member of the Commission, the waivers shall be voted on individually or in a group prior to the vote on the preliminary plat.
- VII. The Chairman will call for a roll call vote.



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**OFFICIAL MINUTES  
NORTHPORT PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
TUESDAY, JUNE 10, 2025**

The Planning and Zoning Commission met in a regular session at 6:00 p.m. on Tuesday, June 10, 2025, in the City Council Chambers at Northport City Hall.

The meeting was called to order by Chairman Kevin Turner. Upon roll call the following members were found to be present: Mr. Brian Chandler, Mr. Martin Houston, Mrs. Tracy Kelly, Mr. David Kemp, Mr. Roland Lewis, Mr. Clay Randolph, Mr. Kevin Turner, Mr. Jason Ward, and Mr. Karl Wiggins. Staff present were Mrs. Julie Ramm, Planning Director, Mr. Ron Davis, City Attorney, Mrs. Kim King, Assistant City Attorney, Mr. Shaun Patten, Zoning Administrator, Mr. Brad Matthews, Assistant City Engineer, Mrs. Katelyn Lesley, Administrative Assistant.

**Chairman Kevin Turner introduced the board members and staff members to the public.**

**Information on Back of Agenda** – Chairman Kevin Turner explained the meeting procedures on the back of the agenda.

**Approval of the Minutes of Previous Meeting(s)** –

**Motion by Mr. Kemp** to approve the minutes of the regular meeting minutes for May 13, 2025. **Seconded by Mr. Lewis.** Voice vote was given. **Motion Carried.**

**Verification of No Conflict of Interest** – Mr. Kevin Turner stated that he knew Woodrow Washington, the owner of the property for Case Number S-25-12, and recused himself from voting on Case Number S-25-12.

**Verification of Proper Notification** – Mrs. Ramm confirmed proper notification was given.

**Disclosure of Ex Parte Communication** – None

**Old Business**

- A. **A-25-3 Magnolia Hills West**– Longleaf Engineering is requesting annexation with original zoning designation of Residential Single-Family (RS-1) for approximately 30.1 acres located south of Northwood Estates subdivision and west of the Magnolia Hills subdivision.

Mrs. Ramm stated that Longleaf Engineering is requesting rezoning with Special District Plan approval for approximately 48.9 acres located south of Northwood Estates subdivision and west of Magnolia Hills subdivision. Portions of the property are currently in the city limits of Northport, with one 13.09 acre parcel currently zoned Special District (SD) and one 3.33 acre parcel currently zoned General Commercial (C-3). The remaining parcels are located outside the Northport city limits and will be covered in the annexation case above. These parcels will come in with a zoning designation of Residential Single-Family (RS-1). A portion of the development was previously included in the Northwood Estates Master Plan. An amendment to that master plan is also requested. The proposed development features 115 single family homes and open spaces. The proposed layout is shown in the included Special District Plan and detailed in the included narrative. The Special District Plan proposes changes from the regular requirements of the subdivision regulations. The zoning

ordinance requires that special districts contain 20% **usable** open space for active and passive recreation. The development as proposed contains roughly 26% open space with amenities including a swimming pool, clubhouse, playground, pickleball courts, and walking trails. Section 6.03.03.B.2 of the zoning ordinance requires that Special District developments must not have driveways, garages, and parking areas that dominate public views along streets. The provided renderings and sample lot layouts do not clearly demonstrate that this required community benefit is being provided, however, the proposed development appears to be consistent with the adjacent neighborhoods in this regard. The unincorporated portion of this property lies within the priority growth areas identified in the comprehensive plan. The future land use plan contained within Northport Compass depicts this property as “High Density Residential”. The proposed development and requested zoning do not conflict with the comprehensive plan. The site currently consists of vacant property with portions zoned Special District (SD), General Commercial (C-3), and portions unincorporated (no zoning). The site is surrounded by single-family residential to the north zoned Special District (SD), by single-family residential to the east zoned Residential Single-family (RS-1) and Special District (SD), by vacant property to the south zoned General Commercial (C-3), and by a mixture of vacant property & mixed-use commercial development to the west zoned General Commercial (C-3) as well as single-family residential zoned Residential Single-Family (RS-1).

Mr. Turner asked staff to confirm that this is Magnolia Hills West and that Magnolia Hills West is also Northwood Gardens Ph. 4. Mrs. Ramm stated that was correct as far as the acreage they are including. Mr. Turner asked as far as a subdivision name, is it two separate subdivisions? Mrs. Ramm stated that currently the 13 acres is Northwood Gardens, they are proposing to take that 13 acres and include it in their special district plan for Magnolia Hills West. Mr. Turner asked if it would be platted as Northwood Gardens. Mrs. Ramm stated she would think so but it is still going to be a part of the Special District Plan for Magnolia Hills West. Mr. Turner asked Mr. Matthews if he had a chance to review the preliminary traffic study. Mr. Matthews stated that he did a review, it is not a full traffic study, Skipper Consulting provided a traffic study through the engineer. Mr. Turner asked if there were any recommendations out of the traffic study. Mr. Matthews stated there were not any at this point, the main point of this study was to discuss distribution of traffic and the primary traffic flow would be expected.

Tom Sims, Longleaf Engineering, 1927 7<sup>th</sup> Street, spoke at the podium. Mr. Sims stated that he wanted to start from the beginning to how we got here with this proposed plan, a few years back Magnolia Hills was brought to the commission as a stand-alone neighborhood and there is no connection to Northwood Gardens, at that time, we were showing connections to meet fire code to the North in to Northwood Estates, they did not get approval of that mainly due to the outpouring of concern about connecting to the Northwood Estates subdivision, fast forward to now, the developer has an opportunity to connect through Northwood Gardens which would be a similar type product to what is there now. He stated that in doing so, Northwood Gardens phase 4 already existed as a future phase of that subdivision which is the reason they had to come in and modify the master plan, the amendment that is being proposed reduces the lot density in that phase, in this proposed plan that has been reduced to 28 lots, there were some additional outstanding patterns in the Northwood Gardens Subdivision, which is a violation of Fire Code they do not have a secondary access point, this would alleviate some of that issue. The other is the detention pond sits, not on an open space parcel but on that residential property there. He stated these are some items they feel that they can clean up. He stated that with the new special district regulations, they needed to build these two subdivisions at least partially concurrent to get the access through the south of the existing Magnolia Hills Subdivision and the access to the north through Northwood Gardens to create that fire code. He stated that the developer sent a letter through an intermediary to the Northwood Gardens and Northwood Estates HOA, the intent of the comment regarding the connection was that there is a primary access to 43N currently through Northwood Gardens, the secondary access would be created through the existing Magnolia Hills subdivision. He also stated that Mrs. Ramm mentioned was a variance or something

to reconfigure one of the lot widths, that was inadvertent, that lot can be made to the proper width so there is no variance needed. He stated that Skipper Consulting did a traffic study, and they confirmed that majority of the traffic would pursue south through Magnolia Hills to get to 43. He stated that the Magnolia Hills West and Northwood Gardens would be the same developer and builder so they are proposing an HOA where the Northwood Gardens residents would be part of the Magnolia Hills West HOA, however, they are aware that the property is apart of the existing Northwood Gardens Subdivision and in some respects it needs to remain part of that subdivision due to the detention pond.

Mr. Wiggins asked Mr. Sims if Northwood Gardens is part of Magnolia Hills West HOA, it would not be part of the HOA for Northwood Gardens? Mr. Sims confirmed that is what they are proposing. Mr. Wiggins asked if it was fair to them to call it Northwood Gardens. Mr. Sims stated it did not matter to them what they called it, if the city wished for us to pull it out and call it an extension of Magnolia Hills West, it really has no bearing in what they are trying to accomplish, but it exists today as Northwood Gardens Phase 4. Mr. Wiggins asked Mr. Sims what the arrangement would be to maintain the detention pond. Mr. Sims stated that the HOA for Magnolia Hills West will enter into an agreement with the existing Northwood Gardens HOA and make annual assessments for the 28 residents.

Mr. Turner asked if the developer has met with the Northwood Gardens HOA. Mr. Sims stated he does not think the developer has had a meeting specifically with the HOA. Mr. Turner asked Mr. Sims, looking back at the exhibit that was in the annexation case, given that one property owner owns all of this property other than a small sliver, what is holding it back from accessing 43 at the signal? Mr. Sims stated that his developer is not the property owner and they are only purchasing the bigger property (not the sliver), they have provided a stub street in that direction if that ever comes to fruition. Mr. Houston asked if the developer has had conversations with that owner. Mr. Sims stated that Mason Lake could probably speak more on that.

Mr. Kemp asked if Northwood Gardens was listed as Northwood Gardens or something else in the master plan. Mr. Sims stated the existing master plan has Northwood Gardens phase 4 on that 28 lot section. Mr. Lewis asked if they were combining two projects. Mr. Sims stated they were combining them by name, single development project for Longleaf and the Developer, they are trying to meet the technicalities of the master plans that exist of what they are proposing and fall into the new special district plan zoning that the city has, this seemed to be the easiest way to get these all on the same page. Mr. Lewis stated the major change from Northwood Gardens master plan that was already approved, the change is, the stub street and reduction in density. Mr. Sims confirmed that was correct. Mr. Lewis are they including overall amenities from Magnolia Hills West into that. Mr. Sims stated he did not understand the question. Mr. Wiggins asked if that percentage covers the whole project. Mr. Sims stated it does cover the whole project. Mr. Turner stated that in reference to the amenities are not in phases anymore, it becomes one cohesive neighborhood that can utilize all the amenities, and now you're saying all of the existing Northwood Gardens can use the amenities as well. Mr. Sims clarified that just phase 4 would use the amenities. Mr. Houston stated that they have the two names and the 28 lots, what name will the neighborhood be advertised as when you drive into your neighborhood; then will the homes be constructed in a way similar to Northwood or the new Magnolia Hills. Mr. Sims stated the intent is to construct both phases as a subdivision within itself, they will build the same type of homes in both sections but it will be different that what is currently in phases 1, 2, & 3.

Mr. Turner asked Mr. Patten to bring up the new amended Master Plan. Mr. Patten pulled up the amended master plan. Mr. Turner asked if it showed a connection through Briarcliff. Mr. Patten confirmed that was correct and pulled up the proposed Master Plan. Mr. Turner asked if the connection still exists. Mr. Sims stated that the Right of Way exists but the roadway does not. Mr. Turner stated there was a connection point and a stub Right of Way on the Briarcliff side. Mr. Sims stated that was correct, previously the Northwood Gardens

phase 4 was showing a full connection to Briarcliff, that roadway cannot be constructed due to topography within the limits of the Right of Way. Mr. Turner asked if this was on the Briarcliff side or the Northwood side. Mr. Sims stated it would be right in the middle of the right of way.

Mason Lake, 2504 Huntington Park Court, DR Horton, spoke at the podium. He stated that DR Horton is a local company, but on a local level all of the houses that are built are by local developers, local general contractors, and the employees are largely central Alabama residents. He stated that the comprehensive plan says high density development, they are proposing a development that is about 2 units per acre. He stated they are going to build houses that are a higher quality than the surrounding neighborhoods, which will raise the property values, brick, hardy siding and no vinyl siding.

Mr. Turner asked Mr. Lake if the company had met with the residents of Northwood Gardens. Mr. Lake stated they sent out the letter, they have had about 4 or 5 residents reach out and have had conversations with them. He stated the goal was to have the conversations, maybe meet with the HOA director over the phone, then if an in-person meeting was requested, they would do that. He stated the letter was sent in order for them to be the most efficient. Mr. Turner asked Mr. Lake to speak to where some of their confusion is because its one neighborhood but its also separate neighborhoods and how that will work from an HOA standpoint. Mr. Lake stated that he does this stuff all the time and this is a confusing project for him. He stated that the reason they named it those two ways is Northwood Gardens is a standing phase right now in the City's documents, they thought it was the simplest way to name it. He stated that this proposed plan is one neighborhood, one HOA and the residents of this proposed neighborhood would be the only residents that would be part of the amenities and then there is a drainage pond so in all fairness there would be a cost share agreement put into place for the other residents of Northwood Gardens to maintain the drainage pond.

Mr. Houston asked Mr. Lake if he had had conversations with the landowner that owns the property at the light. Mr. Lake stated he has, there is more of this property that he is under contract with, that is more of a commercial use, and they are a residential company. He stated that he has had conversations with them and all he can speak to is what he can control which is the property that is planned, but if development were to continue in the future we would want to connect that onto 43. Mr. Lake stated that they see that the ordinance states not wanting the views to be dominated by garages, they would really like to accommodate that, they want to do that by doing some landscaping and side entry housing where they can. He stated there are a few challenges there though, when you have 65' lot it is difficult to do a courtyard plan, they are trying to do their part by to match. Mr. Kemp stated that was his concern because he knows that they are already seeing a flood of these special district requests, they are set up for a reason, his real concern is exactly what Mr. Lake said. He stated that it appears as if they are trying to tweak it to a point where they think it might skirt by the requirements, particularly the part about the garages. Mr. Lake stated his only question is with the special district the only way you can get smaller than a 70' lot, which makes it difficult not to build a house where the garage is in the front, in some cases, some of these lots are corner lots and they could do a side entry. He stated that the special district as he understands it, your able to get smaller lots but you are able to get the community benefit and in their eyes they have a lot of open space, its highly amenitized and they are going to build some really nice houses and it does settle a fire code issue.

Chairman Turner opened the floor for a public hearing.

Councilman Woodrow Washington, spoke at the podium. He spoke on behalf of the residents. He stated that the residents were concerned about traffic, and not sharing the amenities but wanting to share the roads.

Kevin Almond, 4704 Oak Way, spoke at the podium. He spoke on behalf of the residents and HOA. He stated that they were concerned about the safety, traffic and they are disappointed in the developer.

Todd Borst, 4107 Savannah Street, spoke at the podium. He stated that he is concerned about traffic.

Harvey Wilson, 4906 Northwood Gardens Drive, spoke at the podium. He stated that he is concerned about traffic.

Chairman Turner closed the floor for a public hearing.

Mr. Lake spoke at the podium to address the neighbors concerns. He stated that Northwood Gardens as it stands today, do not meet the fire code, so in one way this would give you two access points. He stated that when talking with Skipper Consulting a lot of the residents are likely going to come to the south to get out onto 43. He stated that Mr. Almond mentioned how the houses in this neighborhood would not be as expensive as the ones in Northwood Estates, Mr. Lake stated those are bigger lots so those are bigger houses, they would project to sell these houses in the low \$300,000-low \$400,000. He also stated that DR Horton has sold 980 homes in Central Alabama alone, the average survey from the buyers is 4.8 out of 5.

Mrs. Kelly asked if this is the order in which we would vote: Annexation first which is the Magnolia Hills West property, Master Plan Revision would be second, then Rezoning to Special District for both parcels. Mrs. Kelly also asked out of the 101 parcels that would meet the 50' width of the Special District how are they distributed across Northwood Gardens Phase 4 and Magnolia Hills West. Mrs. Ramm stated that out of the 115 lots there are 28 lots in what is going to be called Northwood Gardens and the remainder of them would be Magnolia Hills West. Mrs. Kelly asked how many out of the 28 are reliant on being rezoned Special District so that you are able to have a smaller lot size. Mrs. Ramm stated that the sizes of all of the lots in Northwood Gardens Phase 4 would increase. Mrs. Kelly asked if the lot sizes are bigger than 50' and if they meet RS-1, RS-2, or RS-3 lot sizes. Mr. Patten stated that they do not have a breakdown of the individual sections as far as which ones meet those regulations, however there is a table in the staff report that shows there are two lots throughout the neighborhood that meet RS-1 and 11 that meet RS-3 standards so all of the others would be either typical SD sizes or the one that's non-conforming. Mrs. Kelly wanted to confirm that 101 out of 115 are reliant upon being rezoned special district to have smaller lot sizes. Mr. Patten stated that was correct. Mr. Turner asked if the existing Northwood Gardens is already SD. Mrs. Ramm stated that it is currently SD but it is not associated with an approved Special District Plan which they would have to get approved according to the new ordinance, but she clarified the question she was answering for Mrs. Kelly, she was comparing the previous master plan for Northwood Gardens to what is being proposed now. Mrs. Kelly asked if they have to approve the master plan revision before the rezoning and the current master plan revision is reliant upon being rezoned special district because the lot sizes are smaller, how can you approve a master plan prior to rezoning for special district and the lot sizes only apply to a special district. Mr. Patten stated the best way to handle that would be like a preliminary plat that's heard before a rezoning case, it would need to be contingent on the rezoning being finalized. Mrs. Ramm stated they would not be able to move forward with development of those lots until City Council approved that SD plan. Mrs. Ramm also stated they ordered it that way because you have the 13 acres that are associated with a different master plan so they thought that was best way to handle it. Mrs. Kelly stated that she was just concerned about approving a master plan revision prior to a rezoning request, not knowing if it would be approved or not. Mr. Turner stated that the way he would see it is if the master plan didn't get approved then you cannot rezone per what is being presented. Mrs. Ramm stated that was correct. Mrs. Kelly asked if the master plan revision is approved but the rezoning is not, does that negate the master plan? Mrs. Ramm stated that one way or the other they have to get a special district plan.

Mr. Houston asked Mr. Lake it was stated that Northwood Gardens currently doesn't meet the fire code, there doesn't seem to be any resistance to Magnolia Hills West, all the resistance seems to be Northwood Gardens, is the reason you're going after Northwood Garden then adding it together so Magnolia Hills West has the two access points? Is this deal contingent on them needing Northwood Gardens and is that because they would not have the two access points? Mr. Lake stated that was correct, if they propose this plan and did not show a secondary access that would not meet fire code.

Mr. Randolph asked staff the original master plan for Northwood Gardens showed a dead end/cul-de-sac with no connection to this other property, property owners within that neighborhood purchased those properties with that in mind, since this access is needed for fire, would a gate across the road satisfy that requirement? Mr. Patten stated that is a question that can only definitively be answered by the fire department. Mr. Matthews stated that he is not aware of any decision that has been made by the fire department specific to this case, there are some cases where gates have been approved for secondary access, in general they prefer not to approve the gate because it does slow the response time. Mr. Randolph stated that this special district, while it does allow smaller lot sizes should be special, and that has been discussed in other meetings, sometimes it comes across that the objective here is just to get smaller lots, but we're not addressing most of the requirements.

Mr. Turner stated that there is a reasonable expectation that with the homeowner in Northwood Gardens/Northwood Estates master plan that when they bought those homes they were at the end of a street and end of a cul-de-sac and amending that plan to create a one neighborhood/two neighborhood isn't doing what they should be doing, which is building a community and building where you feel like you belong to a neighborhood. Mr. Turner stated that if you're in this area, you do not know which neighborhood you are in. Mr. Turner also stated that he believes the access should be on 43 and an unwilling property owner, doesn't mean the city has to come in and amend the other neighborhoods access points and master plans because something is not working in another area.

Mr. Chandler stated his concern with amending the master plan is mainly just to create a second connection for Magnolia Hills, especially when there is another access point available at Flatwoods Road.

**Motion by Mr. Turner** to make a favorable recommendation to the City Council to annex approximately 28.6 acres for the property located south of the Northwood Estates subdivision and west of the Magnolia Hills subdivision with an original zoning of RS-1. **Seconded by Mr. Wiggins.** Mr. Turner – Yes; Mr. Wiggins – Yes; Mr. Chandler – Yes; Mr. Houston – Yes; Mrs. Kelly – Yes; Mr. Kemp – Yes; Mr. Lewis – Yes; Mr. Randolph - Yes; and Mr. Ward – Yes. **Motion Carried.**

**B. R-25-4 Magnolia Hills West** – Longleaf Engineering is requesting rezoning and Special District Plan approval for approximately 29.17 acres located south of the Northwood Estates subdivision and west of the Magnolia Hills subdivision.

**Motion by Mr. Turner** to make a favorable recommendation to the City Council for the rezoning of approximately 48.9 acres from RS-1 (Residential Single-Family 1) and C3 (General Commercial) to SD (Special District) with Special District plan approval for the property located south of the Northwood Estates subdivision and west of the Magnolia Hills subdivision. **Seconded by Mr. Wiggins.** Mr. Turner – No; Mr. Wiggins – No; Mr. Chandler – No; Mr. Houston – No; Mrs. Kelly – No; Mr. Kemp – No; Mr. Lewis – No; Mr. Randolph - No; and Mr. Ward – No. **Motion Failed.**

C. **S-25-13 Northwood Gardens Master Plan Revision** – Longleaf Engineering is requesting a revision to the master plan for approximately 17.11 acres located adjacent to the existing Northwood Gardens and Northwood Estates.

**Motion by Mr. Turner** to approve the revision Northwood Gardens and Northwood Estates Master Plan.  
**Seconded by Mr. Lewis.** Mr. Turner – No; Mr. Lewis – No; Mr. Chandler – No; Mr. Houston – No; Mr. Kemp – No; Mr. Randolph – No; and Mr. Ward – No; Mr. Wiggins – No. **Motion Failed.**

D. **S-25-10 University Beach, LLC**– University Beach is requesting preliminary plat approval of approximately 61.2 acres located north of McFarland Boulevard and east of Harper Road.

Mrs. Ramm stated that University Beach, LLC is requesting preliminary plat approval for approximately 61.2 acres located north of McFarland Boulevard and east of Harper Road. The property is currently divided into 4 parcels. The proposed plat would establish 4 nonresidential lots and 47 single-family detached residential lots. Special District zoning was approved for this property in May 2025. The approved Special District plan showed conceptual and alternative lot configurations on sheets SD3.2, SD6.1, SD7.1, SD8.1, SD11.1, SD12.1, and SD13.1. The proposed preliminary plat follows lot lines shown in the Special District plan. It should be noted that residential lots 48-50 have been removed from this proposed plat phase to comply with fire code requirements. The approved Special District plan specifies waivers for stub street to the east, public street width, and public ROW width. The Special District approval also included a condition that all public sidewalks in the plan be at least six feet wide. The plat conforms to the approved Special District plan regarding sidewalks, stub streets, street width and ROW width, so no waivers need to be approved by the Commission. The future land use plan contained within Northport Compass depicts this property as “General Mixed-Use”, which supports a broad variety of commercial, entertainment, and high-density residential uses. The proposed development and requested plat are consistent with the comprehensive plan. The site currently consists of vacant property zoned Highway Commercial (C-6). The site is surrounded by undeveloped unincorporated land to the north (no zoning), undeveloped unincorporated land to the east (no zoning), a mixture of restaurant and retail uses zoned Highway Commercial (C-6) to the south across Highway 82, a mixture of restaurant and retail uses zoned Highway Commercial (C-6) to the southwest, and by single-family residential neighborhoods zoned Residential Single-Family (RS-1 and RS-4) to the west across Harper Road.

Mr. Turner asked staff if this is phase one should the phasing lines be shown. Mrs. Ramm stated the other portion is labeled as not part of this subdivision at this time. Mr. Turner asked if that would be phase 2. Mrs. Ramm stated that she believed so. Mr. Turner stated he went back and looked at what the council had approved with the phase of the plan and in that phasing plan it has a note for phasing boundaries to be finalized at the submittal of the preliminary plat. Mrs. Ramm stated that this was phase 1. Mr. Turner stated that what is not part of the subdivision is phase 2. Mrs. Ramm stated as far as she knows that is correct.

Mr. Turner asked staff on this SD 5.1 the site circulation plan, there was a note that vehicle circulation and pedestrian facilities to be finalized at the submittal of preliminary plat. He stated the Preliminary plat does not show all pedestrian facilities. (Private sidewalk connection in residential area.) Public sidewalk not in ROW at parallel parking on University Beach Drive. Mrs. Ramm stated she did see sidewalks that are shown on the preliminary plat but Mr. Turner may want to get some clarification from the applicant.

Mr. Turner asked staff on SD 7.1 there is a note that says the open space types and locations to be finalized at the submittal of preliminary plat, that is not shown on the plat. Mrs. Ramm stated that was addressed on the narrative of the SD Plan that was approved by council.

Mr. Turner stated that on SD 8.1 on the drainage plan, shows all of the storm drainage being piped and going to the detention pond, preliminary plat shows drainage being piped from single-family residential area to area labeled "Property Not Part Of This Subdivision" with no easement to convey drainage through said property, drainage behind parking spots along Winner's Circle Drive not shown in easement. Mr. Turner asked Mr. Matthews if there should be an easement if all of the drainage is being piped into an area that is not part of the subdivision. Mr. Matthews stated that he could not see what Mr. Turner was referring to.

Mr. Turner stated the note on SD 10.1 the use boundaries to be finalized at the submittal of preliminary plat, that is not on the preliminary plat.

Mr. Turner stated the note on SD 11.1 there are two common space lots shown: CS1 +/- 4.20 acres, CS2 (Lagoon) +/- 12.3 acres; 11 non-residential lots shown in "Phase I". Preliminary plat differs substantially.

Mr. Turner stated the note on SD 12.1 does not dimension ROW or provide cross-section for Harper Road, Harper Road is not listed in waiver request letter for ROW width. Mr. Turner also stated that the subdivision is not named "phase 1", so he doesn't know if there are 2 phases, 3 phases, or if this is the only phase.

Mr. Turner stated that the sewer on lot 2 is not within a utility easement which is required by section 901 in the subdivision regulations, so he doesn't know if that is a public or private sewer.

Andy McCartney, TTL, 3200 Rice Mine Road NE, spoke at the podium. He stated that Mr. Turner brought up some things that are not shown on the preliminary plat, to save everyone's time, they are requesting the subdivision be postponed to next month.

Chairman Turner opened the floor for a public hearing.

With no one to appear, Chairman Turner closed the floor for a public hearing.

**Motion by Mr. Turner** to continue the preliminary plat for approximately 61.2 acres for the University Beach Subdivision to the July Meeting. **Seconded by Mr. Kemp.** Voice vote was given. **Motion Carried.**

E. **SP-25-1 Rapid Results, LLC**– Rapid Results Supreme, LLC requests conditional use approval for a gym in a Light Industrial (M-1) zone for the property located at 1017 Martin Luther King Jr. Boulevard.

Mrs. Ramm stated that Rapid Results Supreme, LLC is requesting conditional use approval for Indoor Recreation in a Light Industrial (M-1) zone for the property located at 1017 Martin Luther King Jr. Boulevard. The proposed use would consist of an indoor gym and fitness club within an existing office-warehouse development. No new construction is proposed with this request. The current property consists of a 14-unit office warehouse development, of which 9 units are being leased by the applicant and are included in this request. The property is surrounded to the east by office-warehouses zoned General Commercial (C-3), to the south by undeveloped land zoned Light Industrial (M-1), to the west by office-warehouses zoned Office-Institutional (O-I), and to the north across Martin Luther King JR Blvd by an assisted living facility zoned Office-Institutional (O-I). Conditional uses are those uses that have some special impact which differs from the potential impacts of permitted uses or exceeds them in intensity, or have uniqueness such that their effect on the surrounding environment cannot be determined in advance of the use being proposed in a particular location. Whereas a use permitted by right has already been evaluated to fit within a zoning district, conditional uses must be evaluated on a case-by-case basis for compatibility at their proposed location. The Planning Commission may attach to any recommendation for conditional use approval additional criteria dealing with bufferyards, parking, lighting, building materials, or any

other aspect of site plan approval they deem necessary to mitigate the impact of the proposed conditional use on the surrounding property. Some examples of conditions the commission may wish to consider attaching to this recommendation could include: Hours of Operation and Noise Control. The proposed use is not in conflict with the comprehensive plan.

Mr. Turner asked staff to confirm that it has kind of already been operating in this use. Mrs. Ramm confirmed that was correct.

Malcolm Nealy, 1021 Martin Luther King Jr. Drive, spoke at the podium. She stated that currently they are using the space as a gym, they have circuit classes: 5:30am, 10:30am & 6:30pm, their time of operation does not usually interfere with the businesses around them. She stated that they are about 45 minutes to an hour each and about 10-15 people per class section, they have been to work not in conflict with the businesses in the surrounding areas for a decent amount of time.

Mr. Turner asked the applicant if they are utilizing multiple units. Mr. Nealy stated that was correct. Mr. Wiggins asked the applicant if they had taken out any walls or if it was already open. Mr. Nealy stated it is 5 units and they were all open, they caught it at the beginning of the build so they did not build any walls in the middle of the units. Mr. Kemp asked what the hours of operation are. Mr. Nealy stated they are open at 5:30 am, 10:30 am, & 6:30 pm. Mr. Kemp asked if they were headed towards one of the 24 gyms. Mr. Nealy said they were not, they do private group training. Mr. Randolph asked if they had one class at a time. Mr. Nealy stated that was correct, they have 10-15 people at the max. Mr. Houston asked the applicant how they have been operating. Mr. Nealy stated since 2023. Mr. Randolph asked if there was any come and go training. Mr. Nealy stated it is all class training.

Chairman Turner opened the floor for a public hearing.

Councilman Woodrow Washington, spoke at the podium. He stated that his catering kitchen is right next door and for a while they didn't even know they were there and it isn't overloading the parking lot.

Chairman Turner closed the floor for a public hearing.

**Motion by Mr. Turner** to make a favorable recommendation to the City Council for the conditional use for Rapid Results Supreme, LLC for a gym located in a Light Industrial (M-1) zone for the property located at 1017 Martin Luther King Jr. Boulevard. **Seconded by Mr. Wiggins.** Mr. Turner – Yes; Mr. Wiggins – Yes; Mr. Chandler – Yes; Mr. Houston – Yes; Mr. Kemp – Yes; Mrs. Kelly – Yes; Mr. Lewis – Yes; Mr. Randolph – Yes; Mr. Turner – Yes; Mr. Ward – Yes. **Motion Carried.**

### **New Business**

- F. **S-25-11 Beeker 82 Properties** – Duncan, Coker, and Associates is requesting preliminary plat approval of approximately 9.5 acres located at 3400 McFarland Boulevard.

Mrs. Ramm stated that Duncan, Coker, and Associates are requesting preliminary plat approval for approximately 9.5 acres located at 3400 McFarland Blvd. The current property is zoned General Commercial (C-3) (Lot 2B) and Commercial Highway (C-6) (Lot 2A). They are requesting Sidewalk and Half-Street Improvement waivers with this plat. The property is surrounded by retail developments zoned Commercial Highway (C-6) to the south, single-family detached neighborhood zoned Residential Single-Family (RS-1) to the north and east, and an apartment community zoned Residential Multi-Family (RM) to the west.

Mr. Matthews stated the only thing they are asking to leave off is the curb and gutter. There is no curb and gutter in the adjacent area.

Mr. Turner asked if they had heard this one a while back. Mrs. Ramm confirmed that was correct. Mr. Turner stated that there were some private access easements and utility maintenance agreements that were apart of this, he wanted to make sure those are staying and/or get updated.

Mr. Wiggins asked if there were any changes, just to clarify what we are actually doing. Mrs. Ramm stated that splitting existing lots into two lots.

Robert Martin, 201 Towncenter Boulevard, spoke at the podium. He stated that purpose of this subdivision is to separate out the commercial piece that fronts 82 (Planet Fitness, Firehouse, & Gutheries) and then the warehouses in the back will be the second lot. He stated all of the easements that were in place for the original submittal are going to stay in place.

Mr. Turner stated that his biggest concern is that it was recorded with that plat with two lots, when the apartments were lot 1 and the frontage and warehouses were lot 2, now it is split in three lots. Mr. Martin stated they will have a new maintenance agreement. Mr. Turner asked Mr. Martin as far as the other waivers they are not doing anything new, and keeping what is there. Mr. Martin stated that was correct, there will be no new improvements.

Chairman Turner opened the floor for a public hearing.

David Ramsey, 3700 36<sup>th</sup> Avenue, spoke at the podium. He asked what was being proposed to be built. Mr. Turner stated that nothing is being proposed to be built, they are just putting in a property line.

Chairman Turner closed the floor for a public hearing.

**Motion by Mr. Turner** to approve the preliminary plat with waivers and with the condition that all previously recorded private access, private storm sewer, and private sanitary sewer easements and maintenance agreements are modified as necessary to the satisfaction of the City Legal Department and recorded in probate office, prior to final plat approval for approximately 9.05 acres for the property located at 3400 McFarland Boulevard. **Seconded by Mr. Lewis.** Mr. Turner – Yes; Mr. Lewis – Yes; Mr. Chandler – Yes; Mr. Houston – Yes; Mr. Kemp – Yes; Mr. Randolph - Yes; and Mr. Ward – Yes; Mr. Wiggins – Yes. **Motion Carried.**

**G. S-25-12 Washington Addition to Tuskaloosa Street** – Montgomery and Hinkle is requesting preliminary plat approval of approximately 0.21 acres located at 1211 Bridge Avenue. **APPLICANT HAS REQUESTED TO CONTINUE TO JULY. ACTION NEEDED.**

Mrs. Ramm stated that Montgomery and Hinkle is requesting to continue the preliminary plat case.

Mr. Randolph asked the applicant to come forward, the applicant was not present at the meeting.

Mr. Randolph opened the floor for a public hearing.

With no one to appear, Mr. Randolph closed the floor for a public hearing.

**Motion by Mr. Randolph** to continue the preliminary plat for approximately 0.21 acres for the property located at 1211 Bridge Avenue. **Seconded by Mr. Wiggins.** Voice vote was given. **Motion Carried.**

H. **R-25-5 315 Main Avenue** – Boutant Holdings, LLC requests rezoning approval of approximately 0.25 acres from Residential/Commercial/Institutional (RCI) to Historic Downtown Core (HDC) located at 315 Main Avenue.

Mrs. Ramm stated that Boutant Holdings, LLC is requesting rezoning of approximately 0.25 acres located at 315 Main Avenue from Residential/Commercial/Institutional (RCI) to Historic Downtown Core (HDC). The current site consists of a single lot development used as a commercial business. It is surrounded to the east, north and south by commercial businesses zoned Historic Downtown Core (HDC) and to the west by commercial businesses zoned Residential/Commercial/Industrial (RCI). The applicant is requesting rezoning to allow for the renovation of the current property and to market the property for a variety of uses. The uses allowed within the Historic Downtown Core are retail, restaurants, entertainment, artist studios, offices, personal services, professional services, lodging, multi-family or attached housing, daycare/pre-school, institutional/civic uses (not exceeding a 5,000 sq. ft. building footprint), and parking garages (if not fronting onto Main Avenue). The proposed zoning designation matches closely with the future land use plan shown within the comprehensive plan, which shows this area as commercial mixed use.

Mr. Turner asked staff if there was any parking requirements for RCI. Mr. Patten stated that the standard parking requirements applied throughout the city apply here, however in HDC there are no parking requirements. Mr. Turner stated that they are surrounded by street parking on both sides. Mrs. Ramm stated that was correct.

Adam Tant, 4904 Lakeview Estates, spoke at the podium. He stated they are in contract to purchase 315 Main Avenue, the goal is to restore the house, the purpose of the rezoning is to be compliant with Northport's master plan, but not prohibited by the parking requirements. He stated they are not changing the foot print of the house just making upgrades and going to put a quality tenant in the building.

Mr. Turner asked the applicant if they were just going to restore and find a tenant within the uses of the zone. He also asked if it was more geared on parking. Mr. Tant stated their goal is more geared toward parking and putting a tenant in that is going to compliment downtown Northport, they want to keep the character of the house.

Chairman Turner opened the floor for a public hearing.

With no one to appear before the commission, Chairman Turner closed the floor for a public hearing.

**Motion by Mr. Turner** to make a favorable recommendation to the City Council for the rezoning of approximately 0.25 acres located at 315 Main Avenue from Residential/Commercial/Institutional (RCI) to Historic Downtown Core (HDC). **Seconded by Mr. Wiggins.** Mr. Turner – Yes; Mr. Wiggins – Yes; Mr. Chandler – Yes; Mr. Houston – Yes; Mr. Kemp – Yes; Mr. Lewis – Yes; Mr. Randolph - Yes; and Mr. Ward – Yes. **Motion Carried.**

I. **SP-25-2 Nellie Mae and Company, LLC** – Nellie Mae and Company, LLC requests conditional approval for pet grooming in a Residential/Commercial/Institutional zone (RCI) for the property located at 703 Main Avenue. **INCOMPLETE APPLICATION.**

**J. R-25-6 Canopy Properties** – Canopy Properties, LLC requests rezoning of approximately 0.17 acres from General Commercial (C-3) to Residential Single-Family (RS-3) located at 2808 & 2806 18<sup>th</sup> Avenue and 1800 28<sup>th</sup> Street.

Mrs. Ramm stated that Canopy Properties, LLC is requesting rezoning of approximately 0.17 acres located 2808 & 2806 18<sup>th</sup> Avenue and 1800 28<sup>th</sup> Street from General Commercial (C-3) to Residential Single-Family (RS-3). The applicant is requesting rezoning to allow for the construction of new single-family homes. The current site consists of two vacant lots and one lot with a single-family home all zoned General Commercial (C-3). It is surrounded to the east and north by a commercial business (east) and single-family homes (north) zoned General Commercial (C-3), to the west by single family homes zoned Residential Single-Family (RS-3), and to the south by vacant land zoned Residential Multi-Family (RM). The proposed zoning designation matches closely with the future land use plan shown within the comprehensive plan, which shows this area as medium density residential.

Mr. Wiggins asked if all lots are 0.17 acres. Mrs. Ramm stated we are not real sure about the acreage.

Harrison Howell, 1460 Northbank Parkway, spoke at the podium. He confirmed that the acreage was: 2808 – 0.14; 2806 – 0.14; 1800 – 0.28. They are wanting to rezone this to build homes in the future.

Mr. Turner asked if they would meet RS-3 standards, would they be able to build without having to get a variance or anything. Mr. Patten stated that if the property were rezoned to RS-3 they would be allowed to, they could potentially have some issues with setbacks, depending on how they want to develop the site.

Chairman Turner opened the floor for a public hearing.

With no one to appear before the commission, Chairman Turner closed the floor for a public hearing.

**Motion by Mr. Turner** to make a favorable recommendation to the City Council for the rezoning of approximately 0.56 acres located at 2808 & 2806 18<sup>th</sup> Avenue and 1800 28<sup>th</sup> Street from General Commercial (C-3) to Residential Single-Family (RS-3). **Seconded by Mr. Wiggins**. Mr. Turner – Yes; Mr. Wiggins – Yes; Mr. Chandler – Yes; Mr. Houston – Yes; Mr. Kemp – Yes; Mrs. Kelly – Yes; Mr. Lewis – Yes; Mr. Randolph – Yes; Mr. Turner – Yes; Mr. Ward – Yes; Mr. Wiggins – Yes. **Motion Carried**.

## COMMITTEE REPORTS

## OTHER AND MISCELLANEOUS BUSINESS

### ADJOURNMENT – **Motion by Mr. Lewis. Seconded by Mr. Turner**

Meeting was adjourned at 7:57pm.

ATTEST:

\_\_\_\_\_  
Kevin Turner, Chairman

\_\_\_\_\_  
Julie Ramm, Secretary

**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** S-25-10 University Beach, LLC

**Applicant:** University Beach, LLC

**Location:** North of McFarland Blvd and East of Harper Road

**Request:** Preliminary Plat

University Beach, LLC is requesting preliminary plat approval for approximately 61.2 acres located north of McFarland Boulevard and east of Harper Road. The property is currently divided into 4 parcels. The proposed plat would establish 10 non-residential lots, 47 single-family detached residential, and 4 common space lots.

Special District zoning, along with the Special District Plan, was approved by the City Council for this property in May 2025. The approved Special District plan showed conceptual lot configurations on sheet SD11.1. The proposed preliminary plat follows lot lines shown in the Special District plan.

The approved special district plan included waivers for a stub street to the east, public street width, and public ROW width. The special district approval also included a condition that all public sidewalks in the development be at least six feet wide. The plat conforms to the approved special district plan regarding sidewalks, stub streets, street width, and ROW width, so no waivers need to be approved by the Commission.

Regarding plats for Special Districts, the Subdivision Regulations state the following: “Subdivisions within a Special District must be designed in accordance with all subdivision regulations unless otherwise shown on an approved Special District Plan. Any plat matching an approved Special District Plan shall be considered a conforming plat.”

It should be noted that residential lots 48-50 have been removed from this proposed plat phase to comply with fire code requirements. Also, the eastern portion of the proposed road connecting University Beach Drive to Harper Road has been moved to phase 2. The approved Special District Plan makes allowances to adjust phase lines with the submittal of the preliminary plat.

Staff has noticed a discrepancy in the street names submitted in the preliminary plat documents. However, street names will not be finalized until the final plat is recorded.

This case was previously scheduled to be heard on the June, 2025 PZC agenda. Several questions were raised by the Commission during that meeting. These questions, as well as how they have been addressed, are noted below:

- Approved Special District Plan sheet SD 4.1 “Note: Phasing boundaries to be finalized at the submittal of preliminary plat.” – No boundaries shown on preliminary plat.  
Response: *A phasing plan has been included with this plat submittal.*
- Approved Special District Plan sheet SD 5.1 “Note: Vehicle circulation and pedestrian facilities to be finalized at the submittal of preliminary plat.” – Preliminary plat does not show all pedestrian facilities. (Private sidewalk connection in residential area.) Public sidewalk not in ROW at parallel parking on University Beach Drive.  
Response: *Public sidewalks, which match those shown on the Special District Plan sheet SD5.1, are reflected on the preliminary plat. A note has been added to the plat detailing that private sidewalks matching the Special District Plan will be submitted for staff approval during the permit application process. Also, a Sidewalk Easement has been added to the Preliminary Plat to encompass the proposed sidewalk along the proposed parallel parking spaces north of Lots 9R and 10R.*
- Approved Special District Plan sheet SD 7.1 “Note: Open space types and locations to be finalized at the submittal of preliminary plat.” – None shown on preliminary plat.  
Response: *An open space plan has been included with this plat submittal.*
- Preliminary plat shows drainage being piped from single-family residential area to area labeled “Property Not Part Of This Subdivision” with no easement to convey drainage through said property. Drainage behind parking spots along Winner’s Circle Drive not shown in easement.  
Response: *It was discussed that Subdivision Regulations section 507 requires dedication of easements outside the subdivision. However, Section 507 does not require the petitioner to provide easements where water flows through a future phase. It allows easement dedication to be required “off-site” “when necessary”, which does speak to phased development. Engineering would prefer that the drainage passing through the future phases to remain the responsibility of the developer until it is platted in the future. This is consistent with how other phased development has been treated.*
- Approved Special District Plan sheet SD 10.1 “Note: Use boundaries to be finalized at the submittal of preliminary plat.” – No use boundaries shown on preliminary plat.  
Response: *A site Use Plan has been included with this plat submittal.*
- Approved Special District Plan sheet SD 11.1 – two common space lots shown: CS1 +/- 4.20 acres, CS2 (Lagoon) +/- 12.3 acres; 11 non-residential lots shown in “Phase I”. Preliminary plat differs substantially.  
Response: *The updated Preliminary Plat reflects lots as outlined on the “Concept Lot Layout Plan” of the approved Special District Submittal Package.*
- Approved Special District Plan sheet SD 12.1 – Does not dimension ROW or provide cross-section for Harper Rd. Harper Rd. not listed in waiver request letter for ROW width.  
Response: *A “typical public roadway section” is provided in the Special District Plans, dimensioning the proposed public ROW width as 50’. Additionally, the waiver letter provided with the Special District Plans requests a proposed public ROW width of 50’. Finally, the to-scale Conceptual Lot Layout Plan provided in the Special District Plans package, which reflects proposed lot lines and ROW lines in red, shows 5’ of ROW dedication along Harper Road (see snip image included in the comment response letter / cover letter in your packet).*
- Public sanitary sewer not shown in easement or ROW through Lot 2 on preliminary plat.

*Response: The portions of proposed public sewer line outside of public roadway right-of-way are shown in an easement on the updated Phase 1 Preliminary Plat Submittal Package. Note that two possible potential routes for the sanitary sewer main/easement are reflected on the Preliminary Plat through Phase 2; the label on the easements notes that the final location of sewer main through the property will be coordinated as part of Land Development review/permitting. Either route would provide sanitary sewer service to all proposed lots.*

Many of the responses above are excerpts from correspondence with the applicant. For more details on how these items have been addressed, please see the letter from TTL dated June 25, 2025 that is included in your packet.

The future land use plan contained within Northport Compass depicts this property as “General Mixed-Use”, which supports a broad variety of commercial, entertainment, and high-density residential uses. The proposed development and requested plat are consistent with the comprehensive plan.

The site currently consists of vacant property zoned Highway Commercial (C-6). The site is surrounded by undeveloped unincorporated land to the north (no zoning), undeveloped unincorporated land to the east (no zoning), a mixture of restaurant and retail uses zoned Highway Commercial (C-6) to the south across Highway 82, a mixture of restaurant and retail uses zoned Highway Commercial (C-6) to the southwest, and by single-family residential neighborhoods zoned Residential Single-Family (RS-1 and RS-4) to the west across Harper Road.

Any action on this item will require 6 affirmative votes. Should this agenda item fail, the reasons for any non-affirmative votes must be stated on the record.

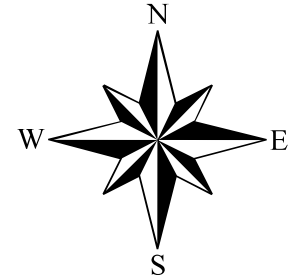
# City of Northport Planning Commission

## Preliminary Plat

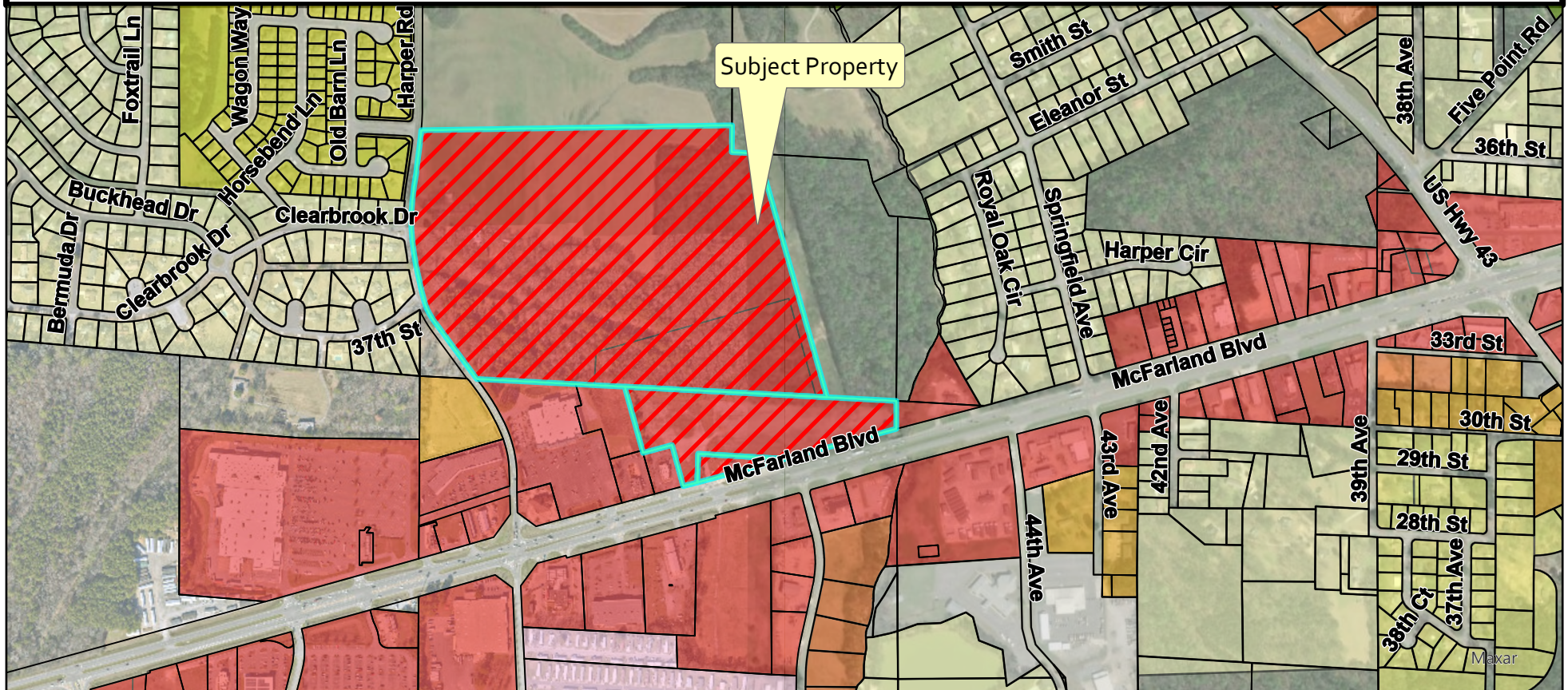
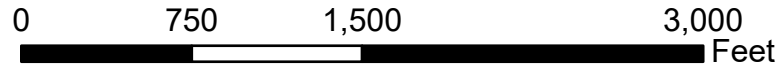
### Zoning

- Agriculture
- General Commercial
- Commercial Highway
- Mobile Home Park
- Office and Institutional
- Residential Multi-Family

- Residential Single-Family - 1
- Residential Single-Family - 2
- Residential Single-Family - 4
- Subject Property



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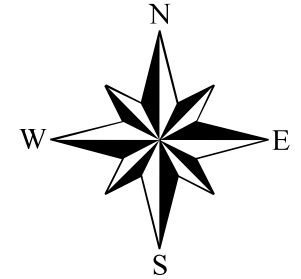
# City of Northport Planning Commission

## Preliminary Plat

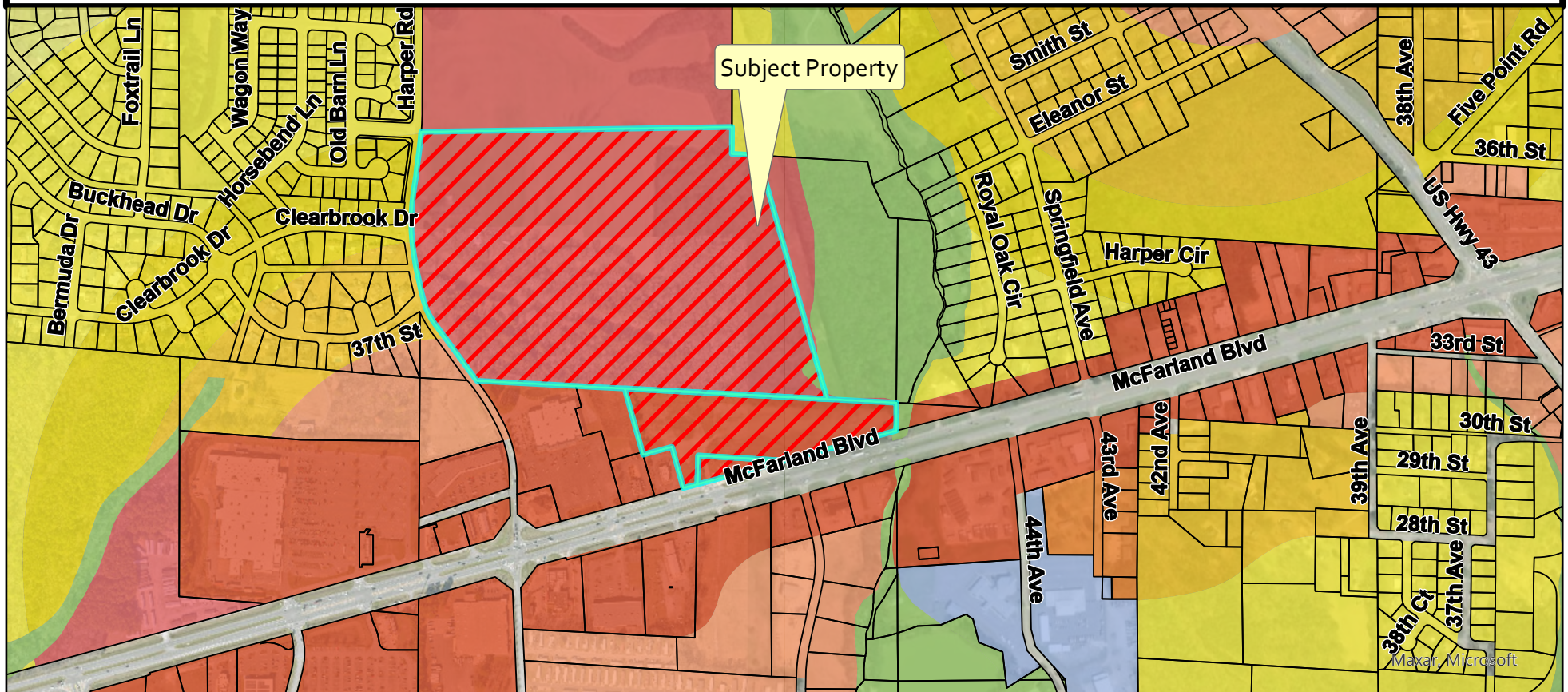
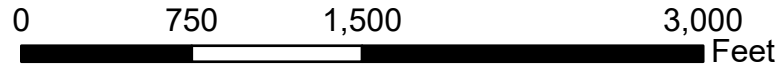
### Future Land Use

- Conservation
- Conservation Floodway
- Commercial Mix
- General Mixed-Use
- Limited Mixed-Use
- Multifamily Residential

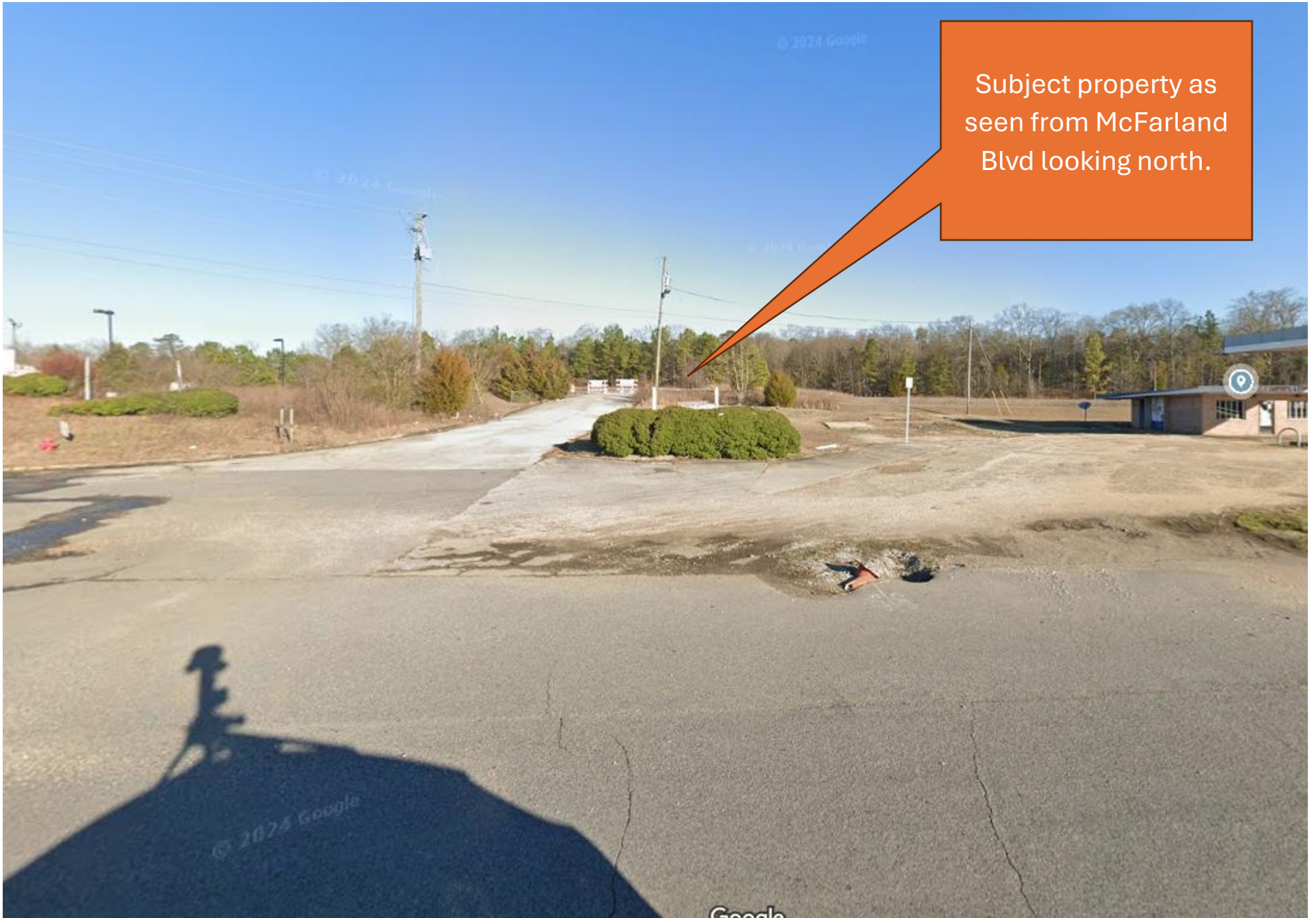
- High Density Residential
- High to Medium Density Transition
- Medium Density Residential
- Medium to Low Density Transition
- Institutional
- Parcels
- Subject Property



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Maxar, Microsoft



Subject property as seen from McFarland Blvd looking north.



3200 Rice Mine Road NE  
Tuscaloosa, AL 35406  
205.345.0816  
www.ttlusa.com

June 25, 2025

Ms. Meredith Mullins  
City of Northport  
3500 McFarland Boulevard  
Northport, AL 35476

**RE: S-25-10 - University Beach Mixed-Use Development  
Preliminary Plat Submittal  
Response to City Review Comments**

Dear Ms. Mullins,

We are writing on behalf of the Applicant, University Beach, LLC, to provide the attached updated Preliminary Plat submittal documents which address comments received from City of Northport staff. City staff comments are copied in bold below. Responses to those comments are included after each bolded comment.

**Planning:**

- 1. Lot numbers should match what was shown on the approved Special District Plan.** Lot numbers have been revised on the Preliminary Plat to match the lot numbers shown on the approved Special District Plan. Please note that several lots reflected on Sheet SD11.1, "Concept Layout Plan", of the Special District documents are in the Phase 2 portion of the project, which is noted as "not part of this subdivision" on the Preliminary Plat.
- 2. Looking at the area on the south end of Winner's Circle Drive, the proposed plat doesn't match the phasing shown on the approved SD plan.** As noted on the approved Special District Plans and referenced in the June 10<sup>th</sup> Planning Commission hearing, the approved Special District Plan's Site Phasing Plan includes a note that states that "phasing boundaries to be finalized at the submittal of preliminary plat." A Phasing Plan has been included with the Phase 1 Preliminary Plat Submittal Package which reflects this referenced phasing boundary shifted approximately 50' to the north due to the location of existing wetlands.
- 3. Lots 48-50 have been re-added after being previously removed due to fire access requirements. Please clarify.** Lots 48R - 50R have been removed from the Preliminary Plat.
- 4. Include name and address of Surveyor.** Note 9 on the Preliminary Plat includes the surveyor's name.
- 5. Show names for all roads.** All proposed street names are reflected on the updated Preliminary Plat, including the revision of the previously proposed "Winner's Circle Drive" to "Lagoon Drive".
- 6. Future ROW along southern boundary of Lot 6 was shown as included in phase one on Sheet SD4.1 of the approved Special District Plan. Please clarify.** As noted on the Special District Plans, Phasing Boundaries are to be finalized with the Preliminary Plat. The Phasing Plan included with this Preliminary Plat package reflects the referenced future public ROW as part

of Phase 2. The “stubbed” portion of public right-of-way included as part of Phase 1 on the Special District Plan is unnecessary for Phase 1, since all Phase 1 lots can be served from the public street provided with Phase 1 (University Beach Drive). Therefore, that portion of future public right-of-way is reflected as Phase 2 on the Preliminary Plat.

7. **Show proposed locations of all traffic control signs and devices.** Stop signs are shown at all of the residential streets. A traffic signal will be constructed at the McFarland intersection, which is being coordinated with the Alabama Department of Transportation. A callout noting the proposed traffic signal has been added to the Preliminary Plat.
8. **Show locations of intersection streets on other side of existing ROW across Hwy 82.** Line work has been added to the Preliminary Plat to reflect the intersecting streets and driveways on the opposite side of the McFarland Boulevard right-of-way.

**Comments from PZC meeting:**

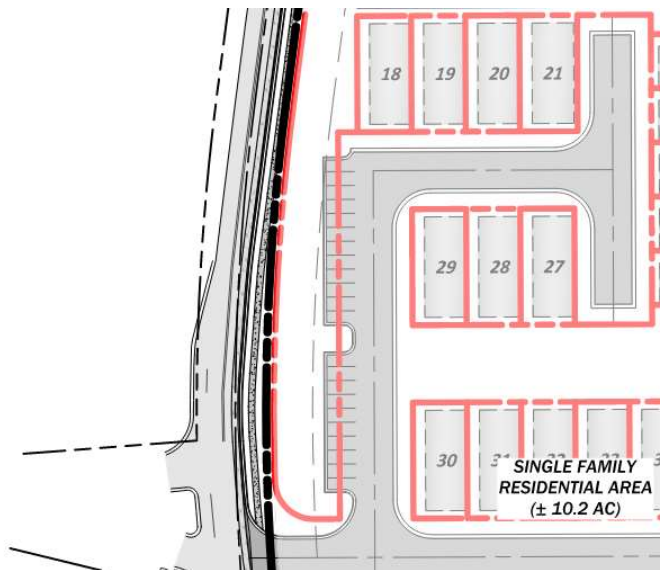
9. **Approved Special District Plan sheet SD4.1 “Note: Phasing boundaries to be finalized at the submittal of preliminary plat.” No boundaries shown on the Preliminary Plat.** A Phasing Plan is included with the attached revised Phase 1 Preliminary Plat Submittal Package.
10. **Approved Special District Plan sheet SD5.1 “Note: Vehicle circulation and pedestrian facilities to be finalized at the submittal of preliminary plat.” Preliminary Plat does not show all pedestrian facilities. (Private sidewalk connection in residential area.) Public sidewalk not in ROW at parallel parking on University Beach Drive.** Public sidewalks, which match those shown on the Special District Plan Sheet SD5.1 (but include the widening of the sidewalks to 6’ per Council approval), are reflected on the Preliminary Plat. Private sidewalks within the area of single-family lots are also reflected on the Preliminary Plat, which match the sidewalks shown on the Special District Plan Sheet SD5.1. Regarding private sidewalks on the individual private lots, the following note has been added to the Preliminary Plat.

*Public sidewalks are reflected on this Preliminary Plat. Vehicular circulation and pedestrian circulation on private properties will meet the intent of the Site Circulation Plans included in the Special District Submittal Package. Those private improvements proposed for individual private lots will be included on Land Development Permit Plans for review/approval by City Staff prior to development of those private improvements/lots.*

Also, a Sidewalk Easement has been added to the Preliminary Plat to encompass the proposed sidewalk along the proposed parallel parking spaces north of Lots 9R and 10R.

11. **Approved Special District Plan sheet SD7.1 “Note: Open space types and locations to be finalized at the submittal of preliminary plat.” None shown on the Preliminary Plat.** An Open Space Plan, which includes labels and notes regarding open space types/areas, has been included with the Phase 1 Preliminary Plat Submittal Package. Note that the acreages labeled on the Preliminary Plat differ from the acreages included on the Special District Plans because the Preliminary Plat acreages only include Phase 1 portions of each district. Remaining acreages of each district will be included in Phase 2, which is not part of this subdivision, as labeled on the documents.
12. **Preliminary Plat shows drainage being piped from single-family residential area to area labeled “Property Not Part of This Subdivision” with no easement to convey drainage through said property.** As coordinated with City staff, no easement is warranted across the referenced private property and is therefore not shown on the Preliminary Plat. In the notes section of the drawing, the plat does reference that maintenance of the drainage passing through the unplatted future phase will be private responsibility until that portion of property is platted and accepted in a future phase.

13. **Drainage behind parking spots along Winner’s Circle Drive not shown in easement.** An easement is now reflected on the Preliminary Plat to encompass the drainage infrastructure in the area referenced (note that “Winner’s Circle” is now labeled as “Lagoon Drive” on the plat).
14. **Approved Special District Plan sheet SD10.1 “Note: Use boundaries to be finalized at the submittal of preliminary plat.” No use boundaries are shown on the Preliminary Plat.** A Site Use Plan has been included with the Phase 1 Preliminary Plat Submittal Package.
15. **Approved Special District Plan Sheet SD11.1 – Two common space lots shown: CS1 (+/-4.20 acres), CS2 (Lagoon) +/-12.3 acres; 11 non-residential lots shown in “Phase 1”. Preliminary Plat differs substantially.** The updated Preliminary Plat reflects lots as outlined on the “Concept Lot Layout Plan” of the approved Special District Submittal Package. Please note that several lots reflected on Sheet SD11.1, “Concept Lot Layout Plan”, of the Special District documents are located in the Phase 2 portion of the property that is noted as “not part of this subdivision” on the Preliminary Plat.
16. **Approved Special District Plan sheet SD12.1 – Does not dimension ROW or provide cross-section for Harper Road. Harper Road not listed in waiver request letter for ROW width.** A “typical public roadway section” is provided in the Special District Plans, dimensioning the proposed public ROW width as 50’. Additionally, the waiver letter provided with the Special District Plans requests a proposed public ROW width of 50’. Finally, the to-scale Conceptual Lot Layout Plan provided in the Special District Plans package, which reflects proposed lot lines and ROW lines in red, shows 5’ of ROW dedication along Harper Road (see snip image below).



17. **Public sanitary sewer not shown in easement or ROW through Lot 2 on Preliminary Plat.** The portions of proposed public sewer line outside of public roadway right-of-way are shown in an easement on the updated Phase 1 Preliminary Plat Submittal Package. Note that two possible potential routes for the sanitary sewer main/easement are reflected on the Preliminary Plat through Phase 2; the label on the easements notes that the final location of sewer main through the property will be coordinated as part of Land Development review/permitting.
18. **Note 10 on sheet 1 doesn’t appear to finalize the pedestrian circulation as required on the SD plan. (open space).** Public sidewalks for pedestrian circulation, which match those shown on the Special District Plan Sheet SD5.1 (but include the widening of the sidewalks to 6’ per Council approval), are reflected on the Preliminary Plat. Private sidewalks within the area of

single-family lots are also reflected on the Preliminary Plat, which match the sidewalks shown on the Special District Plan Sheet SD5.1. Regarding pedestrian circulation for private sidewalks on the individual private lots, the following note has been added to the Preliminary Plat as coordinated with City staff:

*Public sidewalks are reflected on this Preliminary Plat. Vehicular circulation and pedestrian circulation on private properties will meet the intent of the Site Circulation Plans included in the Special District Submittal Package. Those private improvements proposed for individual private lots will be included on Land Development Permit Plans for review/approval by City Staff prior to development of those private improvements/lots.*

- 19. Consider adding a second sentence to note 7 that will address the maintenance agreement that will be approved by the City Attorney prior to final plat.** A second sentence has been added to note 7 on the Preliminary Plat: “A maintenance agreement will be provided prior to final plat for approval by the City Attorney.”
- 20. Acreage of the residential district and the entertainment district do not add up to the same total acreage of the plat.** Acreages for the Residential and Entertainment Districts shown on the Special District Plans include the full buildout of the site (i.e. both Phase 1 and Phase 2). The Phase 1 Preliminary Plat Package reflects acreage of Residential and Entertainment Districts for only Phase 1 of the project. A note has been added to the plan stating such.
- 21. Lot 5 does not match the lot layout on the SD11.1 of the SD Plan.** Lot 5 on the Preliminary Plat now matches the layout reflected on the Concept Lot Layout Plan in the Special District Plans package. Note that the small difference in the lot’s area (+/-0.06 acres) between the Special District Plans and the Preliminary Plat is associated with refined location of University Beach Drive.

### **Engineering:**

- 1. The sidewalk next to Lots 9R and 10R is outside the ROW. Provide an easement.** The Preliminary Plat has been updated to include a sidewalk easement around the sidewalk referenced in this comment.
- 2. Parking spaces and storm drain along Winner’s Circle Drive are partially outside ROW. Provide easement.** An easement is now reflected on the Preliminary Plat to encompass the drainage infrastructure in the area referenced (now labeled as “Lagoon Drive”).
- 3. Proposed phasing limits along Boardwalk Blvd and Winner’s Circle Drive do not match approved SD Plan.** As noted on the approved Special District Plans and referenced in the June 10<sup>th</sup> Planning Commission hearing, the approved Special District Plan’s Site Phasing Plan includes a note that states that “phasing boundaries to be finalized at the submittal of preliminary plat.” A Phasing Plan reflecting final phasing limits has been included with the Phase 1 Preliminary Plat Submittal Package.

Regarding the phasing limits along the future public right-of-way (labeled on previous documents as Boardwalk Boulevard), as noted in the response to the similar Planning Department comment above, the “stubbed” portion of public right-of-way included as part of Phase 1 on the Special District Plan is unnecessary for Phase 1, since all Phase 1 lots can be served from the public street provided with Phase 1 (University Beach Drive). Therefore, that portion of future public right-of-way is reflected as Phase 2 on the Preliminary Plat.

Regarding the phasing limits at the south end of Winner’s Circle Drive (now labeled as “Lagoon

Drive”), the phasing limits between Phases 1 and 2 have been shifted approximately 50’ to the north due to the location of the existing wetlands.

4. **ROW for Boardwalk Boulevard should not be platted in this phase if roadway construction is not proposed in this phase. Do not show ROW that is not being dedicated in this phase. Storm drain in this phase should also not be shown.** The Phase 1 Preliminary Plat Package submitted with this cover letter has been updated to remove the proposed storm drainage shown in the referenced future right-of-way. Linework for the future Phase 2 public roadway (labeled as Boardwalk Boulevard on previous drawings) is reflected on the Preliminary Plat and labeled as “Future Public ROW (Not Part of this Subdivision)”.
5. **Correct Site Phase Plan if Boardwalk Boulevard construction is not included in this phase.** Site Phasing Plan has been updated with this resubmittal to not include the future Phase 2 public street (labeled on previous drawings as Boardwalk Boulevard).
6. **Label open space lot numbers in residential area.** Open space lot numbers in residential areas have been labeled.
7. **It does not appear there is room on public roadways for private utilities without being too close to water and storm. Can a 10’ private utility easement be provided on the sidewalk side of the public roads?** A 10’ private utility easement is reflected on the updated Preliminary Plat along University Beach Drive and Harper Road.

**Utilities:**

1. **Show easement for water main south and west of Lot 18R.** A utility easement has been added to the Preliminary Plat for the water line outside of public ROW in this referenced area.
2. **Sewer should be along the centerline of the proposed ROW/road along the southern end of the property (6.2.1 of Engineering, Design, and Construction Manual).** The referenced section of the Engineering, Design, and Construction Manual also notes that sanitary sewer facilities can be located outside of public right-of-way within public easements with approval of the City Engineer. The updated Preliminary Plat reflects possible options for serving the development with public sewer and notes that the final location of public sewer will be coordinated as part of the Land Development permit review process.
3. **Sewer easement width shall be per 6.2.1 of Engineering, Design, and Construction Manual.** The Preliminary Plat has been updated to include the following note:

*Utility Easement width may vary pending final depth of sewer line. Easement width will be provided according to requirements of section 6.2.1 of the City of Northport’s Engineering, Design, and Construction Manual.*

4. **Proposed ROW/Typical Roadway Section does not provide adequate space for water mains, storm structures, and sidewalks. Increase ROW width or change the section layout to provide space for water main maintenance.** The section layout has been updated on the Preliminary Plat to show the sidewalk located 4’ from the street’s back of curb, which matches the Typical Street Section shown on page TR-02A of the City’s Engineering, Design, and Construction Manual. Water mains are reflected at 30” behind the back of curb, per Section 7.1.24 of the City’s Engineering, Design, and Construction Manual. As reflected on the Special District plans and the Preliminary Plat, except for some necessary curb inlets which facilitate drainage of the public roadways, storm drainage piping is almost entirely on the opposite side of the street from the water main infrastructure.
5. **Show fire hydrants. If necessary, easements must be shown for fire hydrant and all necessary City-maintained water infrastructure outside of ROW per 7.5.6 of Engineering, Design, and**

**Construction Manual.** Proposed fire hydrants within the single-family residential area have been added to the plat as reflected on the Special District Plans and as previously coordinated with the Fire Department. Locations of fire hydrants on private lots will be coordinated and reflected on Land Development Permit plans for those lots that will be submitted to City staff for approval. Fire hydrant locations shown on the Preliminary Plat are subject to final approval by City staff during the Land Development Permitting review and approval process.

6. **10' Utility easement for non-City-owned utilities should be shown outside ROW per 3.3 of Engineering, Design, and Construction Manual.** A 10' private utility easement is reflected on the updated Preliminary Plat along University Beach Drive and Harper Road.
7. **Separate capped sewer laterals should be shown for each lot, per 3.3 of Engineering, Design, and Construction Manual.** Capped sewer laterals are shown to each lot on the updated Preliminary Plat included with this response letter.
8. **If fire protection is required for Lot 4 from the proposed water main, show information.** A water/fire service line serving Lot 4 has been added to the Preliminary Plat included with this response letter.
9. **If a water main would be required across Lot 8/5 to serve 13.82 acre parcel, show the requirements of what would be constructed in this phase.** No water line to that property is proposed with this phase. The water service to that area will be provided in the future within the future public ROW of the street that will extend to serve that Phase 2 area.
10. **Sewer should be shown from this development into new gravity being installed by the City (plans have previously been sent to TTL for coordinating).** This comment will be addressed as part of Land Development Permit review/approval, as coordinated with City staff. Existing sewer infrastructure is located within the right-of-way of McFarland Boulevard (including linework for City-planned improvements provided to TTL for coordination), as shown on the Preliminary Plat. Upgrades and/or replacement of existing sewer infrastructure will be coordinated and addressed during the Land Development Permit review/approval process.

**Fire:**

1. **One- or Two-Family Residential Developments. IFC 2021 D107.1 Developments of one- or two-family dwellings where the number of dwelling units exceeds 30 shall be provided with two separate and approved fire apparatus access roads.** Lots 48R – 50R have been removed from the Preliminary Plat so that no more than 30 dwelling units access a single drive.

**GIS:**

1. **None of the proposed street names are in use in the County. However, I do not like the use of street types in the street name field as found in Winner's Circle Street. It needs to be changed. If some version of "Winner" is not used, I checked on similar words to see what might be available. Some words that are not in use are Fortune, Success, and Triumph. "Winner's Circle Street" has been renamed "Lagoon Drive" on the updated Preliminary Plat included herein.**

Should any additional information or clarification be needed regarding this Preliminary Plat application, please let us know.

Sincerely,

TTL, INC.



Andy McCartney, P.E.

attachments: Phase 1 Preliminary Plat Submittal Package

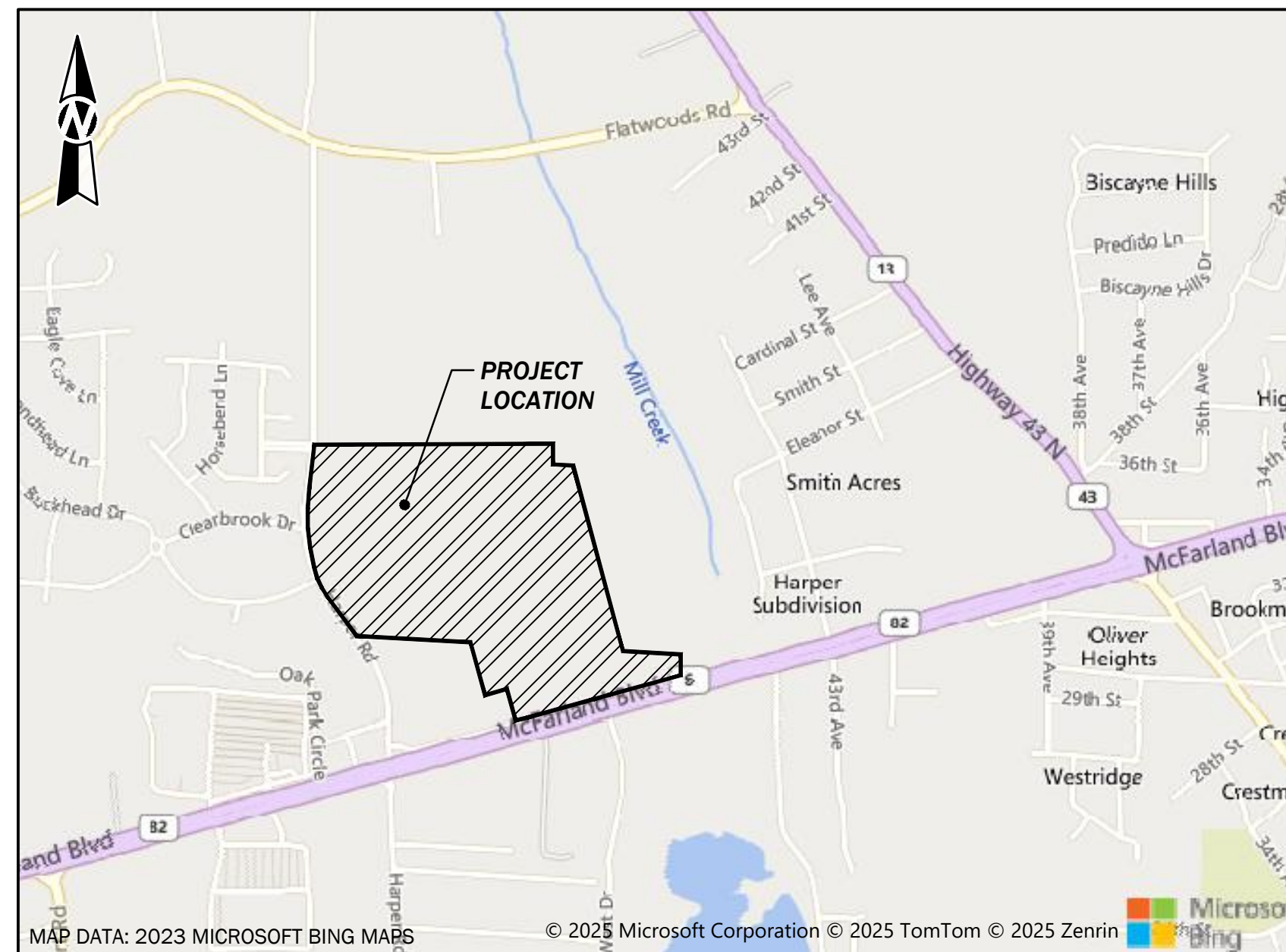
# UNIVERSITY BEACH MIXED-USE DEVELOPMENT PHASE 1 PRELIMINARY PLAT SUBMITTAL PACKAGE

## UNIVERSITY BEACH, LLC. U.S. HIGHWAY 82 NORTHPORT, ALABAMA

TTL PROJECT NO. 230101669.00

**JUNE 13, 2025**  
**ADDRESSING STAFF COMMENTS - JUNE 25, 2025**

VICINITY MAP



INDEX TO SHEETS

PRELIMINARY PLAT	1 OF 5
TYPICAL SECTIONS	2 OF 5
SITE PHASING PLAN	3 OF 5
SITE OPEN SPACE PLAN	4 OF 5
SITE USE PLAN	5 OF 5



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UNIVERSITY BEACH MIXED-USE DEVELOPMENT  
PHASE 1 PRELIMINARY PLAT SUBMITTAL PACKAGE

UNIVERSITY BEACH, LLC  
U.S. HIGHWAY 82  
NORTHPORT, ALABAMA

**PRELIMINARY**  
(NOT FOR CONSTRUCTION,  
RECORDING PURPOSES,  
OR IMPLEMENTATION)

APPROVED BY:  
TTL, INC.

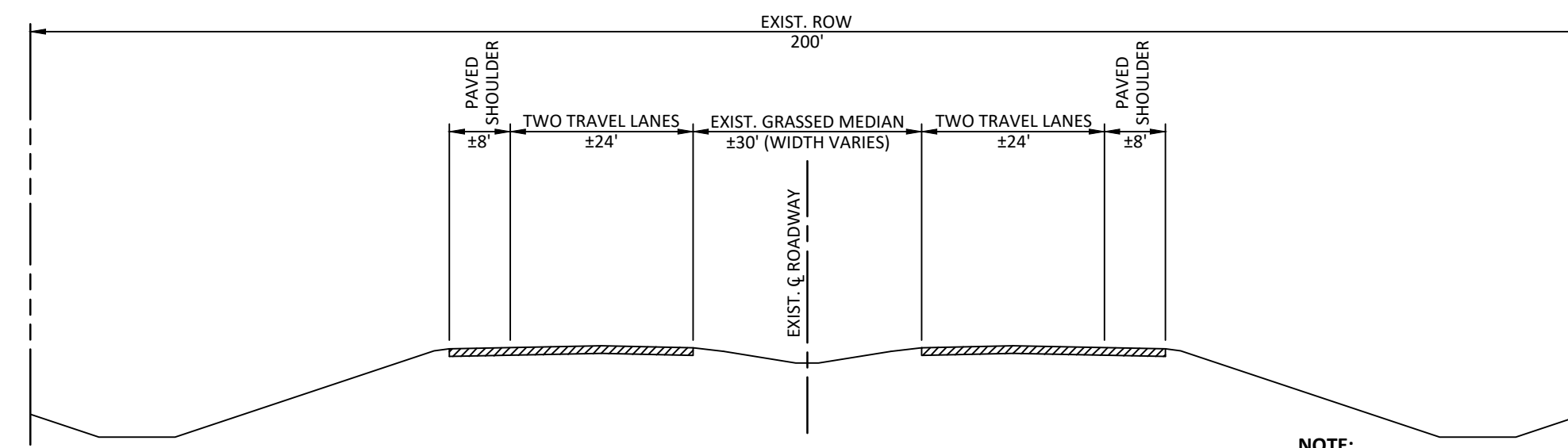
JOHN ANDREW MCCARTNEY, P.E.  
ALABAMA REG. NO. 30070

SET NO. \_\_\_\_\_



**TYPICAL STREET SECTIONS**

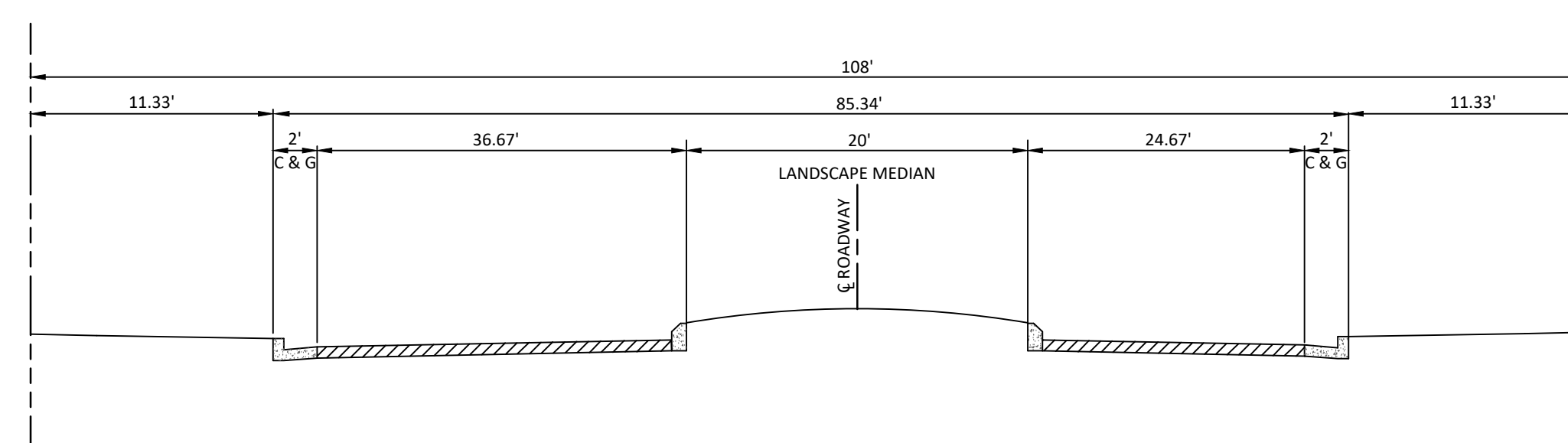
**EXISTING STREET TYPICAL SECTIONS**



**TYPICAL SECTION - MCFARLAND BLVD**  
NO SCALE

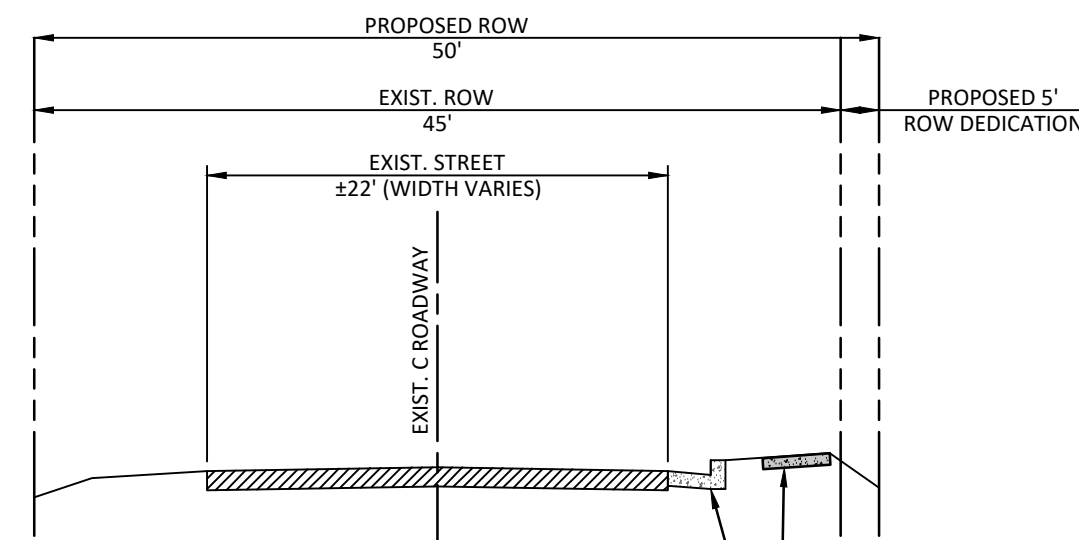
**NOTE:**  
NEW TURN LANE IMPROVEMENTS, SHOWN CONCEPTUALLY ON PLAN VIEW, WILL BE REQUIRED AND ARE SUBJECT TO ALDOT APPROVAL.

**PROPOSED STREET TYPICAL SECTIONS**



**TYPICAL SECTION - BOULEVARD ENTRANCE**  
PROPOSED IMPROVEMENTS  
NO SCALE

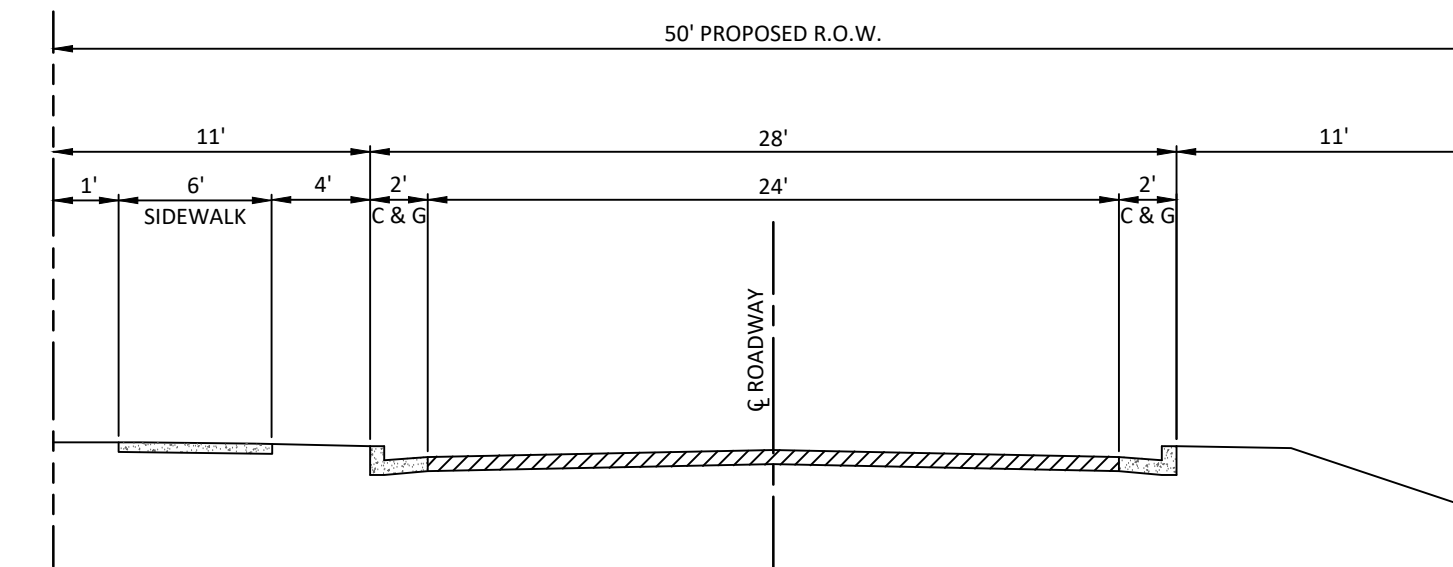
**NOTE:**  
BOULEVARD ENTRANCE DIMENSIONS ARE SUBJECT TO MODIFICATION DURING FINAL DESIGN AS PART OF ONGOING COORDINATION WITH PERMITTING AGENCIES.



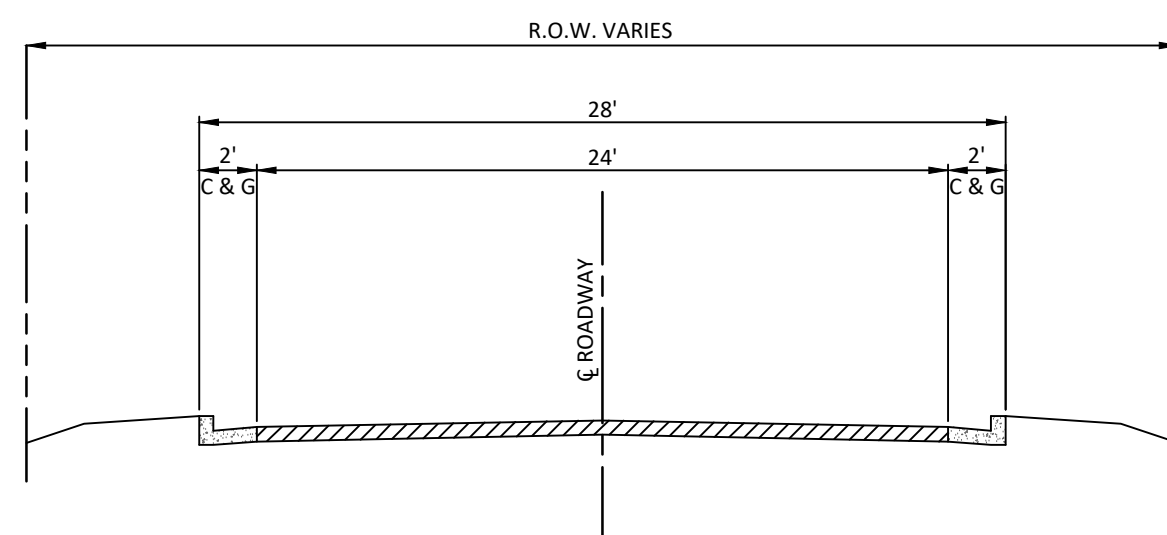
**TYPICAL SECTION - HARPER ROAD**  
NO SCALE

**NOTE:**  
PROPOSED IMPROVEMENTS ALONG HARPER ROAD ASSOCIATED WITH THIS SUBDIVISION INCLUDE:

- 2' CURB & GUTTER ALONG EAST SIDE OF HARPER ROAD TO THE SOUTH SIDE OF THE PROPOSED SINGLE FAMILY RESIDENTIAL LOTS (SEE PLAN)
- 6'-WIDE SIDEWALK ALONG EAST SIDE OF HARPER ROAD TO THE SOUTH SIDE OF THE PROPOSED SINGLE FAMILY RESIDENTIAL LOTS (SEE PLAN).
- 5' OF RIGHT-OF-WAY DEDICATION WILL BE PROVIDED ALONG THE EAST SIDE OF HARPER ROAD WITH RECORDING OF FINAL PLAT.

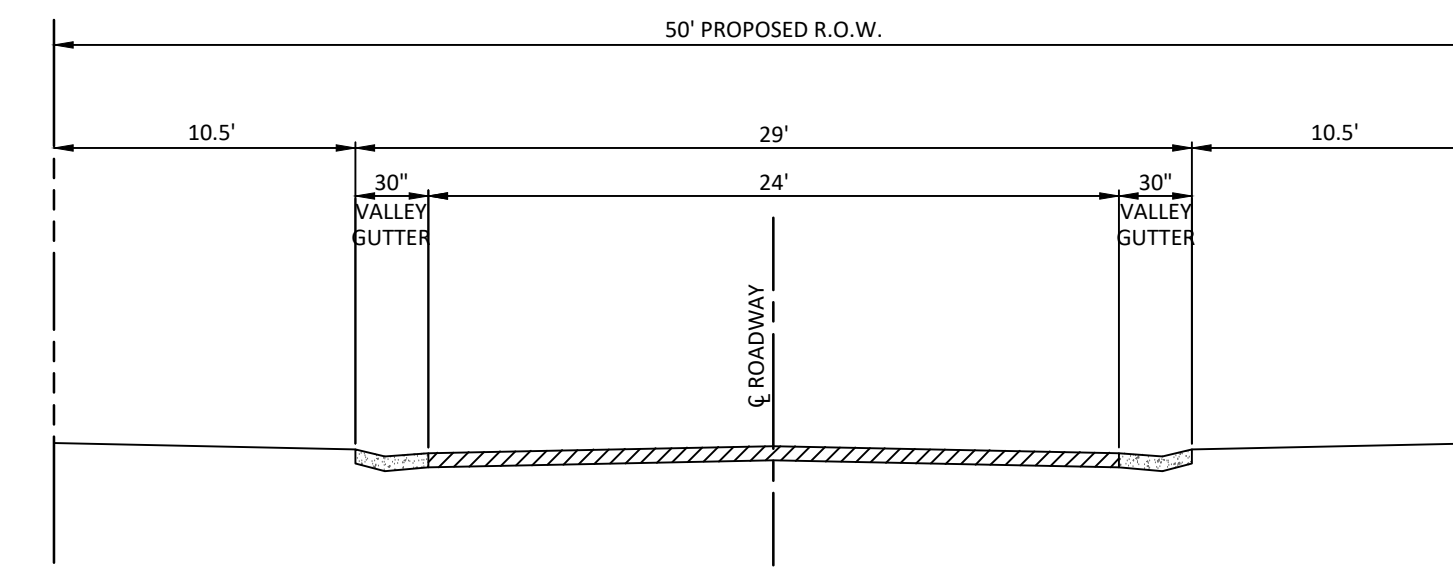


**TYPICAL PUBLIC ROADWAY SECTION**  
PROPOSED IMPROVEMENTS  
NO SCALE



**TYPICAL SECTION - ALDOT SERVICE ROAD**  
NO SCALE

**NOTE:**  
SERVICE ROAD IS PROPOSED TO BE EXTENDED AS CONCEPTUALLY SHOWN ON PLAN VIEW. SERVICE ROAD IMPROVEMENTS ARE SUBJECT TO ALDOT APPROVAL.



**TYPICAL PUBLIC ROADWAY SECTION - SINGLE FAMILY RESIDENTIAL STREETS**  
PROPOSED IMPROVEMENTS  
NO SCALE



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**UNIVERSITY BEACH SUBDIVISION**  
**UNIVERSITY BEACH, LLC.**

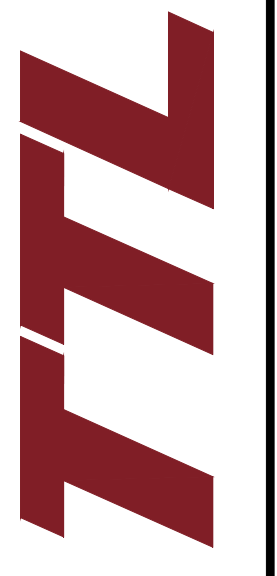
SECTION 8, TOWNSHIP 21 SOUTH, RANGE 10 WEST  
NORTHPORT, ALABAMA

**PRELIMINARY**  
(NOT FOR CONSTRUCTION,  
RECORDING PURPOSES  
OR IMPLEMENTATION)

**TYPICAL SECTIONS**

No.	Date	Revision Description

Drawn By: J. B. | Checked By: J. A. M.  
Date: 04/15/2025 | Proj. No.: 23-01-01669-00  
File Name: 02 & 03 - 231669 Preliminary Plat 24x36.dwg



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 UNIVERSITY BEACH, LLC.**

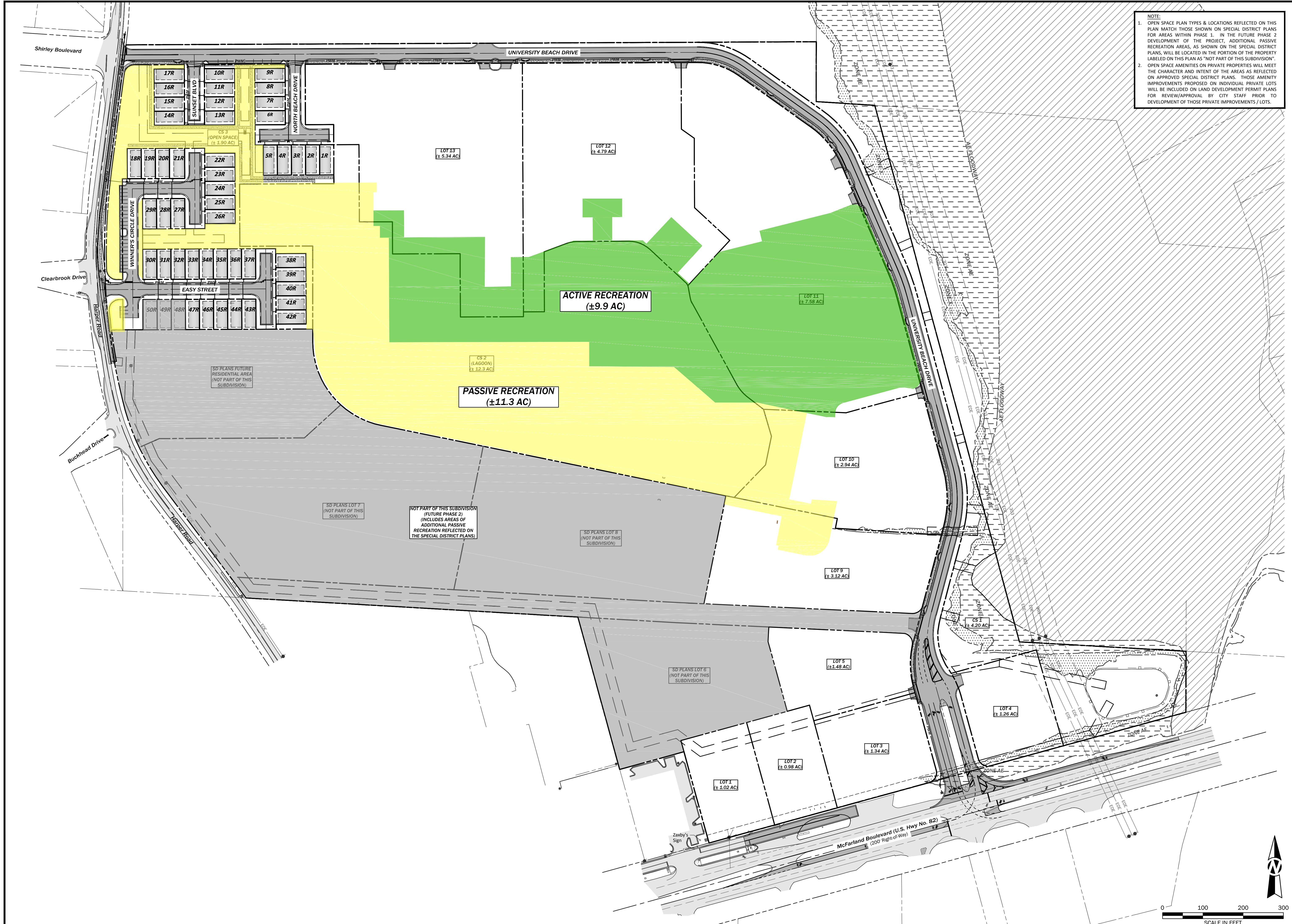
SECTION 8, TOWNSHIP 21 SOUTH, RANGE 10 WEST  
 NORTHPORT, ALABAMA

**PRELIMINARY**  
 (NOT FOR CONSTRUCTION,  
 RECORDING PURPOSES,  
 OR IMPLEMENTATION)

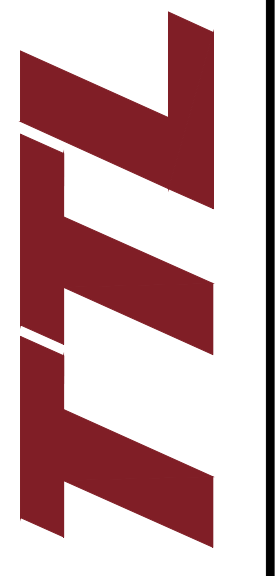
**SITE PHASING PLAN**

No.	Date	Revision Description

Drawn By: J. B.      Checked By: J. A. M.  
 Date: 04/15/2025      Proj. No.: 23-01-01669-00  
 File Name: 05-231669-Phasing Plan.dwg



NOTE:  
 1. OPEN SPACE PLAN TYPES & LOCATIONS REFLECTED ON THIS PLAN MATCH THOSE SHOWN ON SPECIAL DISTRICT PLANS FOR AREAS WITHIN PHASE 1. IN THE FUTURE PHASE 2 DEVELOPMENT OF THE PROJECT, ADDITIONAL PASSIVE RECREATION AREAS, AS SHOWN ON THE SPECIAL DISTRICT PLANS, WILL BE LOCATED IN THE PORTION OF THE PROPERTY LABELED ON THIS PLAN AS "NOT PART OF THIS SUBDIVISION".  
 2. OPEN SPACE AMENITIES ON PRIVATE PROPERTIES WILL MEET THE CHARACTER AND INTENT OF THE AREAS AS REFLECTED ON APPROVED SPECIAL DISTRICT PLANS. THOSE AMENITY IMPROVEMENTS PROPOSED ON INDIVIDUAL PRIVATE LOTS WILL BE INCLUDED ON LAND DEVELOPMENT PERMIT PLANS FOR REVIEW/APPROVAL BY CITY STAFF PRIOR TO DEVELOPMENT OF THOSE PRIVATE IMPROVEMENTS / LOTS.



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**UNIVERSITY BEACH SUBDIVISION  
 UNIVERSITY BEACH, LLC.**

SECTION 8, TOWNSHIP 21 SOUTH, RANGE 10 WEST  
 NORTHPORT, ALABAMA

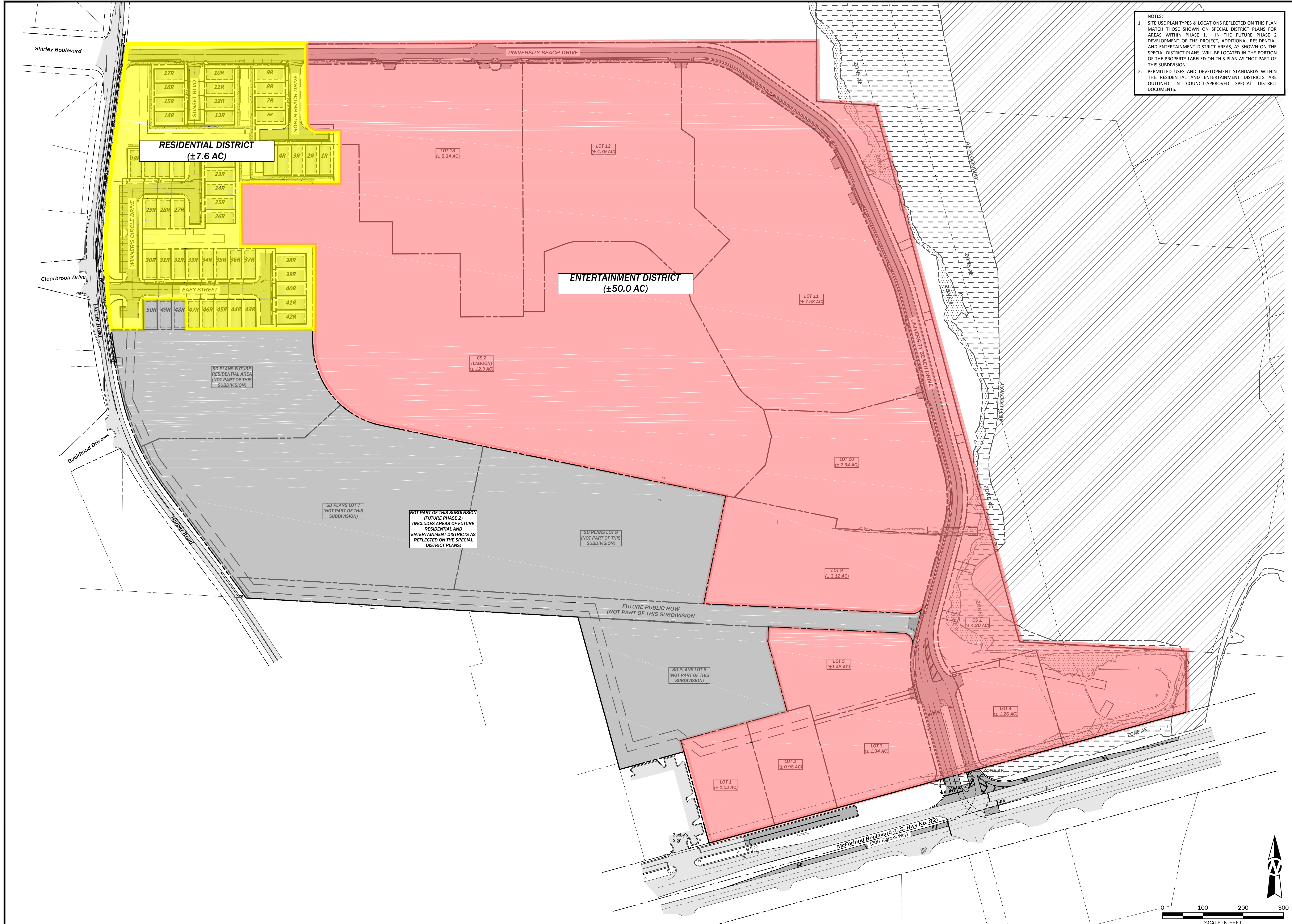
**PRELIMINARY**  
 (NOT FOR CONSTRUCTION,  
 RECORDING PURPOSES  
 OR IMPLEMENTATION)

Sheet Title  
**OPEN SPACE PLAN  
 (PHASE 1)**

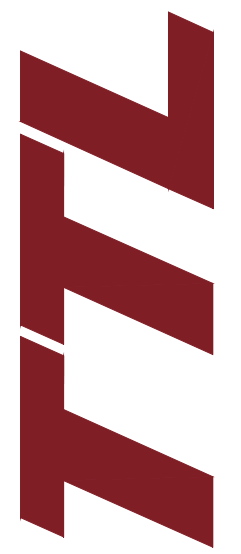
No.	Date	Revision Description

Drawn By: J. B.      Checked By: J. A. M.  
 Date: 04/15/2025      Proj. No.: 23-01-01669-00  
 File Name: 04\_231669-Open Space Plan.dwg





NOTES:  
 1. SITE USE PLAN TYPES & LOCATIONS REFLECTED ON THIS PLAN MATCH THOSE SHOWN ON SPECIAL DISTRICT PLANS FOR AREAS WITHIN PHASE 1. IN THE FUTURE PHASE 2 DEVELOPMENT OF THE PROJECT, ADDITIONAL RESIDENTIAL AND ENTERTAINMENT DISTRICT AREAS, AS SHOWN ON THE SPECIAL DISTRICT PLANS, WILL BE LOCATED IN THE PORTION OF THE PROPERTY LABELED ON THIS PLAN AS "NOT PART OF THIS SUBDIVISION".  
 2. PERMITTED USES AND DEVELOPMENT STANDARDS WITHIN THE RESIDENTIAL AND ENTERTAINMENT DISTRICTS ARE OUTLINED IN COUNCIL-APPROVED SPECIAL DISTRICT DOCUMENTS.



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**UNIVERSITY BEACH SUBDIVISION  
 UNIVERSITY BEACH, LLC.**

SECTION 8, TOWNSHIP 21 SOUTH, RANGE 10 WEST  
 NORTHPORT, ALABAMA

**PRELIMINARY**  
 (NOT FOR CONSTRUCTION,  
 RECORDING PURPOSES  
 OR IMPLEMENTATION)

**SITE USE PLAN  
 (PHASE 1)**

No.	Date	Revision Description

Drawn By: J. B. | Checked By: J. A. M.  
 Date: 04/15/2025 | Proj. No.: 23-01-01669.00  
 File Name: 06-231669-Ste Use Plan.dwg



**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** S-25-12 Washington Addition to Tuskaloosa Street and R-25-7 MKW Holdings

**Applicant:** Montgomery and Hinkle

**Location:** 3400 McFarland Blvd.

**Request:** Preliminary Plat and Rezoning

Montgomery and Hinkle is requesting preliminary plat approval for approximately 0.21 acres located at 1211 Bridge Avenue. The current property is zoned Residential Single-Family (RS-4). The applicant is requesting rezoning of the proposed lot 1 to Suburban Mix (SMX). Table 4-1 of the zoning ordinance details the uses allowed within the RS-1 zone, while table 6-8 lists the uses allowed within the SMX zone. Both of these tables are included at the end of this report.

The following waivers are requested with this plat.

- **Sidewalks** - The subdivision regulations require that sidewalks be constructed along all right-of-way frontages. A waiver has been requested for sidewalk construction on Bridge Ave. There are no adjacent sidewalks, but much of the east side of Bridge Ave. has existing sidewalks. A streetscape project is planned for Bridge Avenue that would include sidewalks. Funding for design engineering on this project will be considered by the City Council at the July 7<sup>th</sup>, 2025 meeting. Sidewalks on the MLK Jr. Blvd. side are being constructed in an ongoing City project. Sidewalks on Bridge Ave. are proposed in the City’s Comprehensive Plan and in the MPO’s Bicycle and Pedestrian Plan. A waiver has been requested for sidewalk construction on 12th St. There are no adjacent sidewalks on 12th St. Sidewalks are not proposed in the City’s Comprehensive Plan or the MPO’s Bicycle and Pedestrian Plan. The commission would have the option to either 1) require the sidewalks, 2) waive the sidewalk requirement completely, or 3) waive sidewalk construction and require a payment into the sidewalk bank.
- **Right-of-way Dedication** - A waiver has been requested for ROW dedication on Bridge Ave. Bridge Ave. is classified as a minor arterial, so 90' of ROW is required. The comprehensive plan does not include any lane additions, and the existing ROW appears to accommodate sidewalk construction now or in a future project. A waiver has been requested for ROW dedication on 12th St. There is already more than 30' of ROW from center line, so this waiver is not required.

The minimum lot size for the portion of the property remaining RS-4 is 6,000 square feet. As the proposed lot 2 falls beneath this threshold, a variance will be required from the Zoning Board of

Adjustment. The applicant has applied for this variance and is on the agenda for the July, 2025 ZBA meeting.

The current property consists of a residential duplex and a vacant commercial building on one lot. It is surrounded to the north across MLK Boulevard by an office building zoned General Commercial (C-3); to the east by single-family detached residential zoned Residential Single-Family (RS-4); to the south across 12<sup>th</sup> street by single family detached residential zoned Residential Single-Family (RS-4); and to the west across Bridge Avenue by an office building zoned Suburban Mix (SMX). The future land use plan contained within Northport Compass depicts this property as “General Mixed Use”. The requested zoning is not in conflict with the comprehensive plan.

Any action on the subdivision item will require 6 affirmative votes. Should this agenda item fail, the reasons for any non-affirmative votes must be stated on the record. Any approval of this plat should be contingent upon 1) rezoning being approved by City Council, and 2) a variance being granted for the minimum lot size.

Any action on the rezoning will be a recommendation to City Council.

**Table 4-1 showing uses allowed within Residential zoning districts:**

**Table 4-1 Use Regulations, Residential Districts**

	RS-1	RS-2	RS-3	RM
<b>Residential Uses</b>				
Assisted and independent living facilities				C
Boarding house				C
Cottage development, subject to <a href="#">§7.10</a>				P
Duplex, subject to <a href="#">§7.12</a>				P
Manufactured home subdivision				C
Manufactured home park, subject to <a href="#">§7.28</a>				C
Multifamily dwellings, subject to <a href="#">§7.31</a>				P
Single-family dwelling, detached	P	P	P	P
Single-family dwelling, Zero Lot Line, subject to <a href="#">§7.49</a>				P
Townhouse, subject to <a href="#">§7.45</a>				P
Twin houses, subject to <a href="#">§7.46</a>				P
<b>Nonresidential Uses</b>				
Amateur radio tower, subject to <a href="#">§3.04.04.F</a>	P	P	P	
Bed and breakfast, subject to <a href="#">§7.05</a>	C	C	C	
Cemetery, accessory to place of worship	C	C	C	C
Cemetery, as a principal use				C
Community center	C	C	C	P
Country club	C	C	C	C
Day care and Nighttime care centers	C	C	C	C
Extended care facility				C
Family day care and Nighttime homes, subject to <a href="#">§7.14</a>	P	P	P	P
Family care home, subject to <a href="#">§7.19</a>				P
Golf course	P	P	P	P
Group day care home, subject to <a href="#">§7.14</a>	C	C	C	C
Group homes, other than Family Care Homes, subject to <a href="#">§7.19</a>				C
Home occupation, subject to <a href="#">§7.21</a>	P	P	P	P
Park, playground, nature preserve	P	P	P	P
Parking, freestanding	C	C	C	C
Place of worship, subject to <a href="#">§7.34</a>	C	C	C	P
Public facility	P	P	P	P
Public utility facility, major	C	C	C	C
Public utility facility, minor	P	P	P	P
Recreational facilities, accessory (swimming pools, tennis courts)	P	P	P	P
Schools, private	C	C	C	C
Short-term rental, subject to <a href="#">§7.40</a>	P	P	P	P

P – The use is permitted by right

A blank cell indicates the use is prohibited.

C – The use requires Conditional Use approval, see [§12.05](#)

Table 6-8 showing allowable uses with SMX zoning district:

Table 6-8 Permitted Uses, Downtown Districts

P – Permitted by Right	C – Conditional Use, see <a href="#">§12.05</a>	SE – Special Exception, see <a href="#">§14.04</a>	A blank cell indicates the use is prohibited			
Nonresidential Uses	UMX	LMX	HDC	RCI	SMX	HN
Ambulance service, subject to <a href="#">§7.04</a>					P	
Artisanal manufacturing	C	C	C	C	C	
Bank or Financial services, excluding Alternative Financial Services	P	P	P	P		
Bar	P	P	C		P	
Bed and Breakfast	C	C		C	C	C
Brewpub	P		P		P	
Business or Professional office	P	P	P	P	P	
Business support service	P	P			P	
Cemetery						C
Commercial school, fully enclosed	P		P	P	P	
Commissary	P	P	C		P	
Communication tower, subject to <a href="#">§7.06</a>					C	
Cottage developments, subject to <a href="#">§7.10</a>				P		
Day care center	P	P	P	P	P	
Dry cleaning pick-up/drop-off business	P	P	P		P	
Entertainment, Indoor	P	P	P	C	P	
Entertainment, Outdoor	C				C	
Extended care facility				P	P	
Garden center or Nursery	C				P	
General retail, Enclosed	P	P	P	P	P	
Home occupation, subject to <a href="#">§7.21</a>	P	P	P	P	P	P
Hotel	P	P	P		P	
Institutional uses, Major, subject to <a href="#">§7.24</a>	C	C	C	P	C	
Institutional uses, Minor	P	P	P	P	P	
Package Store	C		C		C	
Parking, Freestanding	P	P	P	C	P	
Parking, Structured (also refer to district regulations)	P	P	P	P	P	
Passenger terminal	C				C	
Personal services	P	P	P	P	P	
Public facility	P	P	P	P	P	P
Public utility facility, Minor	C	C			C	C
Recreation, Indoor	P	P	P	P	P	
Recreation, Outdoor	C				C	
Recycling center, subject to <a href="#">§7.36</a>	C				C	
Repair services, subject to <a href="#">§7.37</a>					P	
Restaurant-bar	P	P	P		P	
Restaurant, Standard	P	P	P	P	P	
Restaurant, Take-out or delivery only	P	P	P		P	
Short-term rental, subject to <a href="#">§7.40</a>	P	P	P	P	P	P
Studio (dancing, music, art)	P	P	P	P	P	
Veterinary office, Pet grooming, no outdoor pens, subject to <a href="#">§7.48</a>	C	C		P	C	

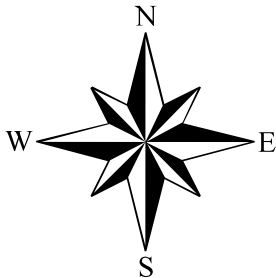
Table 6-8, continued:

**Table 6-8 Permitted Uses, Downtown Districts**

P – Permitted by Right	C – Conditional Use, see <a href="#">§12.05</a>	SE – Special Exception, see <a href="#">§14.04</a>	A blank cell indicates the use is prohibited			
<b>Residential Uses</b>	UMX	LMX	HDC	RCI	SMX	HN
Accessory dwellings, subject to <a href="#">§7.02</a>				SE		
Caretaker dwelling, subject to <a href="#">§6.05.03.A.2</a>	C	C		C	C	
Duplex, subject to <a href="#">§7.12</a>				P		P
Single-family dwelling, detached				P		P
Townhouses, subject to <a href="#">§7.45</a>		C		C	C	
Upper-story dwellings	P	P	P	P	P	

# City of Northport Planning Commission

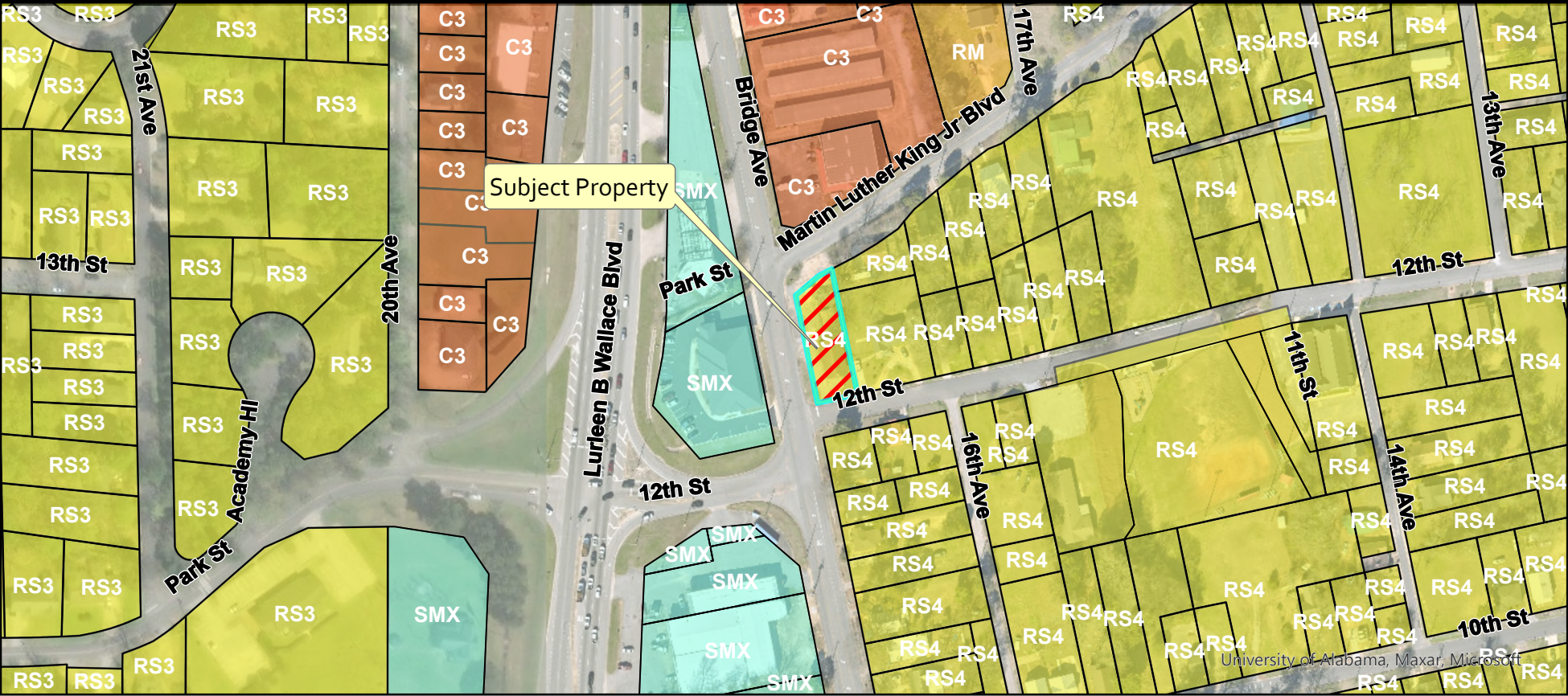
## Preliminary Plat



### Zoning

- General Commercial
- Residential Multi-Family
- Residential Single-Family - 3
- Residential Single-Family - 4
- Suburban Mixed-Use
- Parcels
- Subject Property

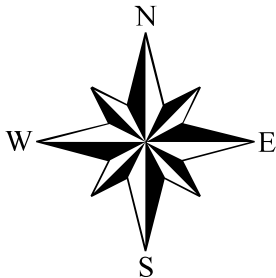
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University of Alabama, Maxar, Microsoft

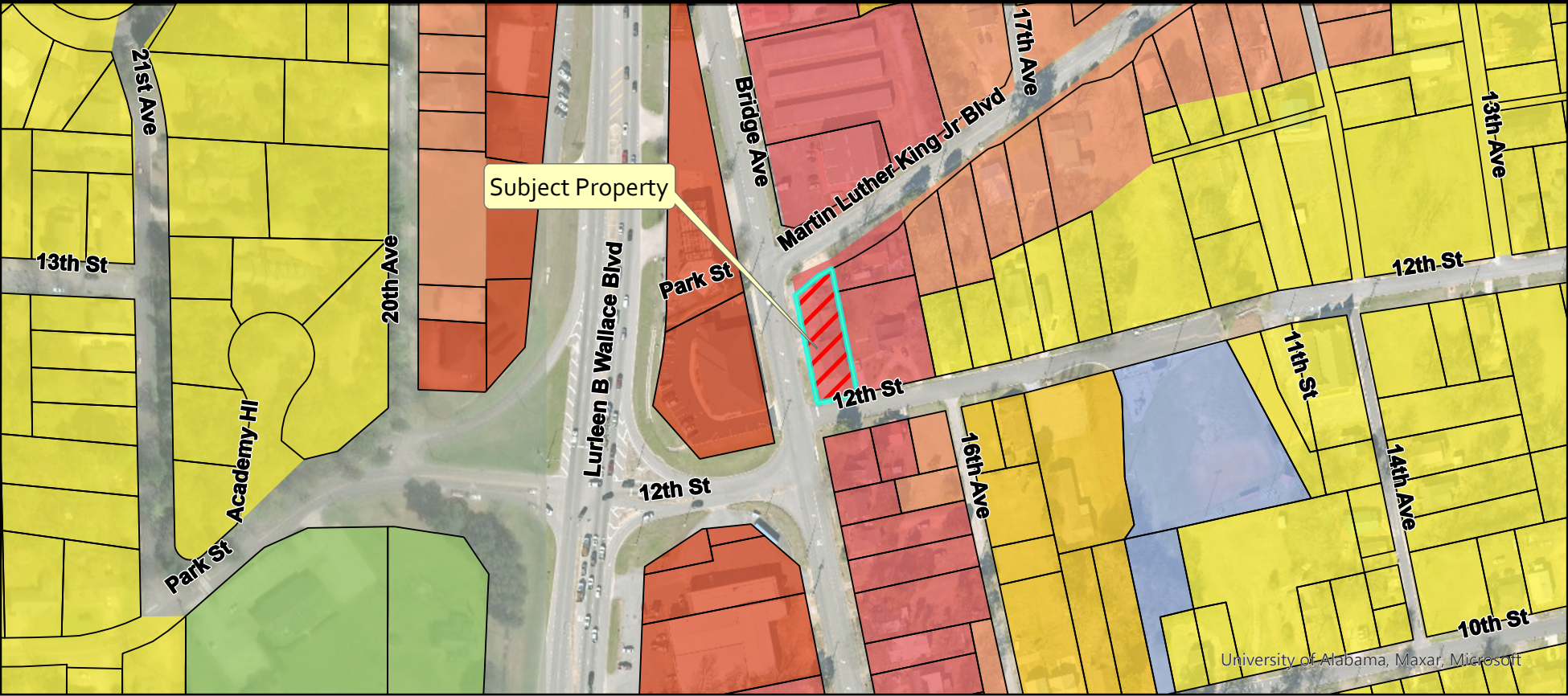
# City of Northport Planning Commission

## Preliminary Plat



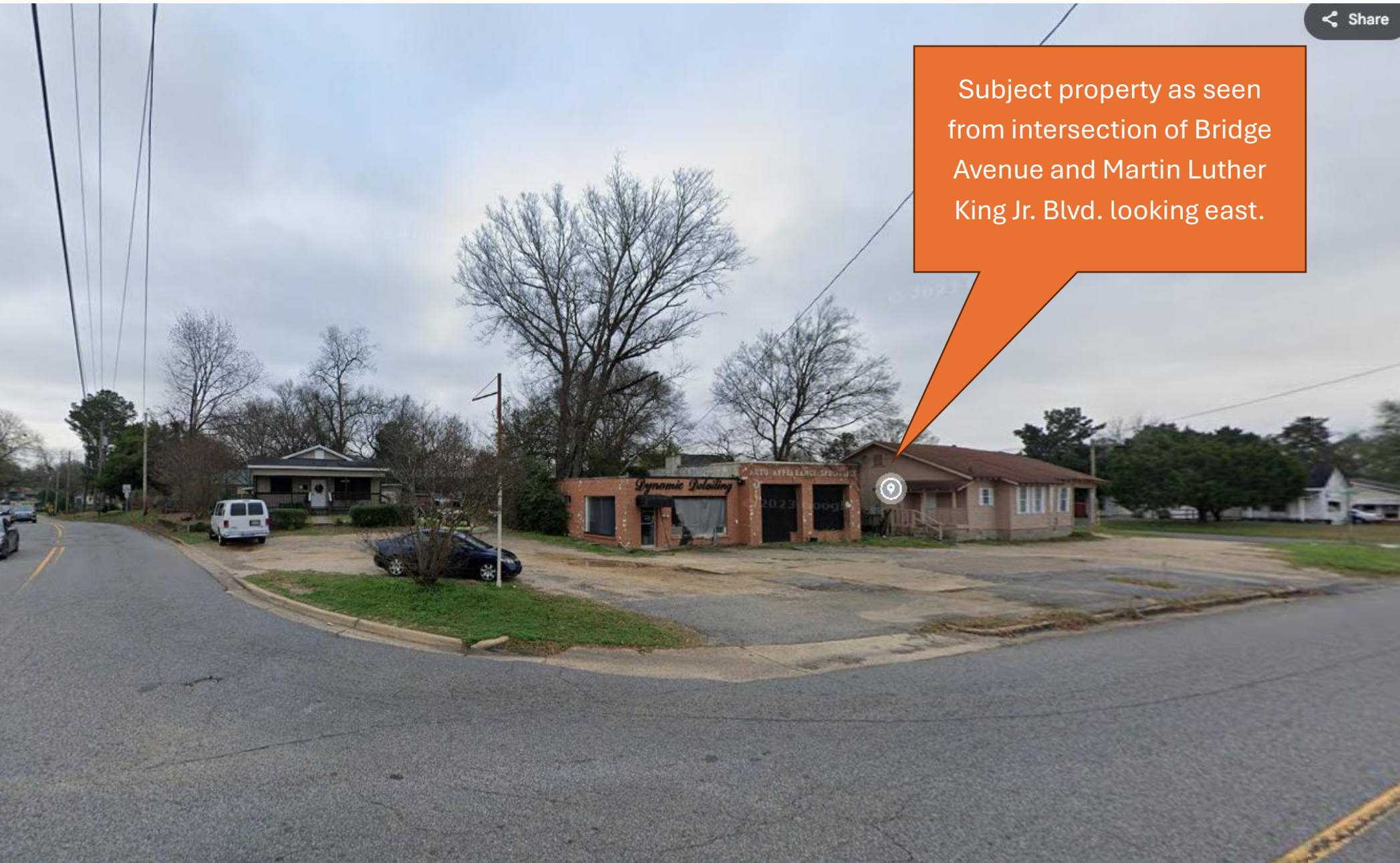
- Future Land Use**
- High Density Residential
  - Medium Density Residential
  - Conservation
  - Institutional
  - Commercial Mix
  - Parcels
  - General Mixed-Use
  - Limited Mixed-Use
  - Subject Property

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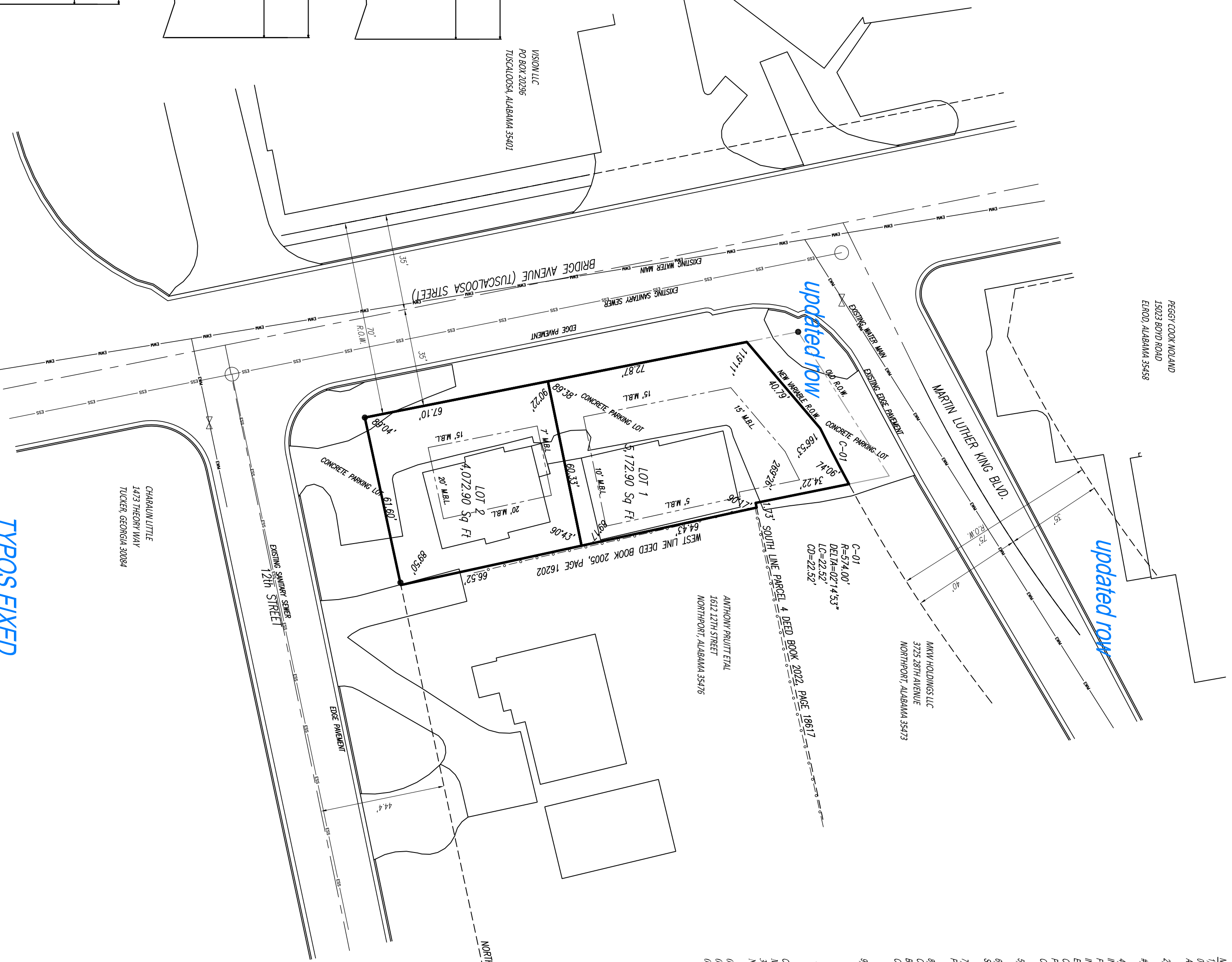
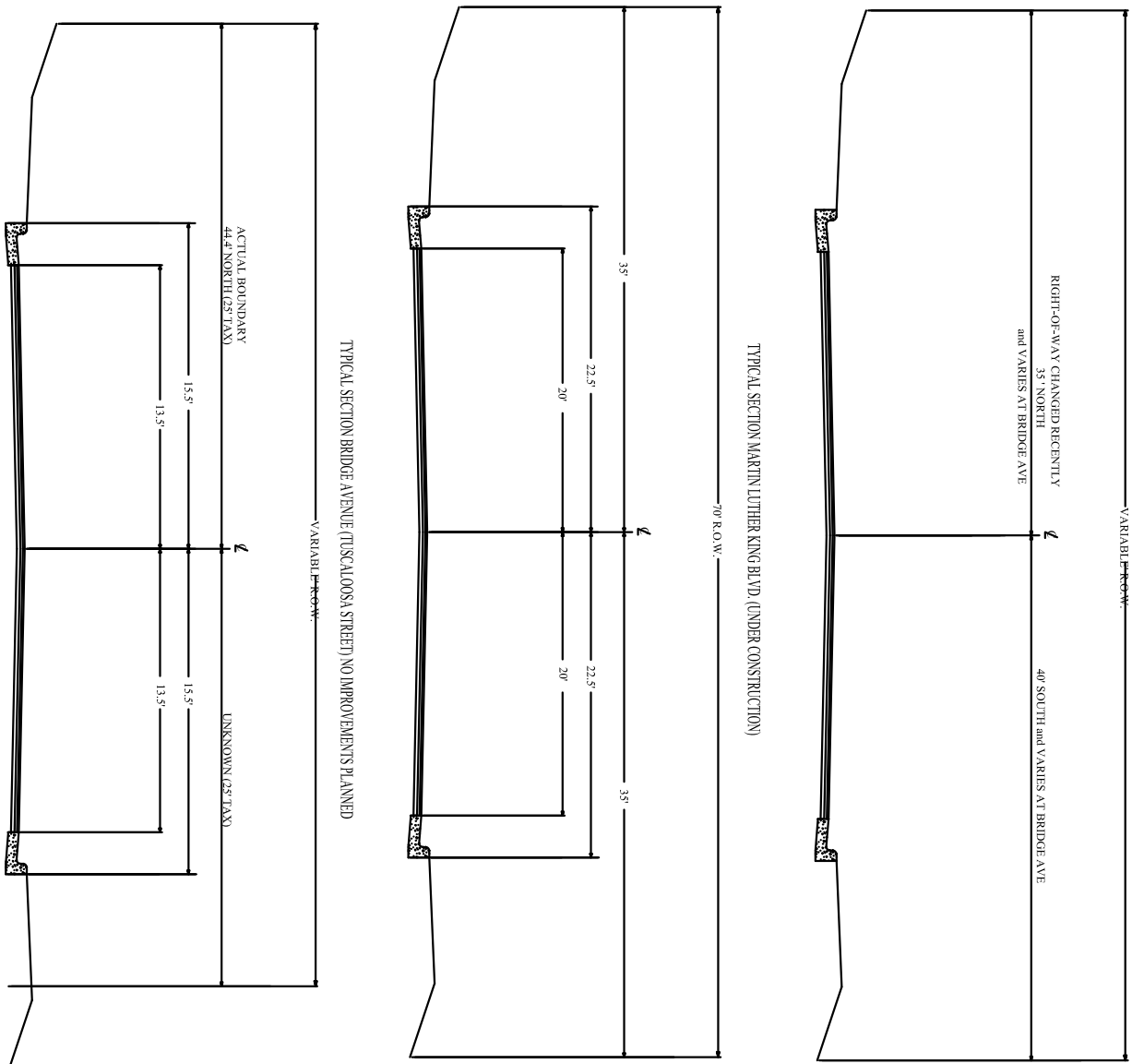
University of Alabama, Maxar, Microsoft

Subject property as seen from intersection of Bridge Avenue and Martin Luther King Jr. Blvd. looking east.





street cross sections  
changed 06/18/2025



**TYPOS FIXED**  
**ADDED PRE PLAT TITLE**

# Preliminary Plat to the Planning and Zoning Commission of Northport

**Montgomery and Hinkle, inc.**  
Professional Land Surveyors

203 Hargrove Road (East)  
Tuscaloosa, AL 35401  
Phone - (205) 248-7396 - Fax - (205) 248-7398  
Tuscaloosa.survey.com  
meh@mhsurvey.com  
office@mhsurvey.com

## WASHINGTON'S ADDITION TO TUSCALOOSA STREET

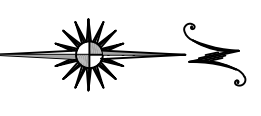
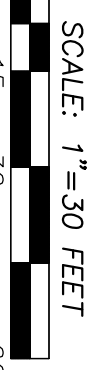
A RESURVEY OF PART OF LOT 88 COOK SURVEY, PLAT BOOK 5, PAGE 145  
PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER  
SECTION 16, TOWNSHIP 21 SOUTH, RANGE 10 WEST  
TUSCALOOSA COUNTY, Alabama

### SOURCE OF TITLE

DB 2025, PG 2057

### LEGEND

- IRON ROUND
- 1/2" REBAR and CAP SET (C#-965-1S)
- CONCRETE MONUMENT ROUND
- △ CALCULATED - NOT MONUMENTED
- ( ) DEED and/or PLAT CALL
- R.O.W. RIGHT-OF-WAY
- X- FENCE LINE
- M.B.L. MINIMUM BUILDING LINE
- UTILITY POLE
- P- POWER LINE
- WATER METER
- POWER METER
- CONCRETE SURFACE
- BUILDING
- WOOD SURFACE
- LINE NOT TO SCALE



- NOTES**
- 1) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 01200003G EFFECTIVE DATE JANUARY 16, 2014, THE SUBJECT PROPERTY LIES IN UNSHADDED ZONE 'V' AREA ABOVE THE 1% FLOOD ELEVATION.
  - 2) ALL ANGLES AND OR BEARINGS ARE TO THEIR RESPECTIVE CHORDS.
  - 3) ALL DISTANCES IN CURVES ARE TO THE CHORD.
  - 4) ALL EASEMENTS EXCEPT THOSE IDENTIFIED AS PRIVATE SHOWN ON THIS PLAT ARE FOR PUBLIC IMPROVEMENTS INCLUDING PUBLIC UTILITIES SUCH AS SANITARY SEWERS, STORM SEWERS AND STORM DITCHES, AND MAY BE USED FOR SUCH PURPOSES TO SERVE PROPERTY BOTH WITHIN AND WITHOUT THIS SUBDIVISION, AND PRIVATE UTILITY INCLUDING PRIVATE SANITARY SEWER LINES THAT RUN ALONG THE EASEMENT SHALL BE INSTALLED WITHIN THE EASEMENT BUT MAY BE REROUTED TO CROSS PERPENDICULAR TO THE EASEMENT AND PERMANENT STRUCTURE OR OTHER OBSTRUCTION SHALL BE LOCATED WITHIN THE LIMITS OF A DESIGNATED EASEMENT, FENCES OR SHEDDING PLACED WITH AN EASEMENT ARE SUBJECT TO REMOVAL WITHOUT COMPENSATION AT CONVENIENCE OF CITY OR COUNTY.
  - 5) ALL IMPROVEMENTS NOT SHOWN AT THIS TIME.
  - 6) THIS PROPERTY IS LOCATED IN THE CITY OF NORTHPORT, AND LOT 1 IS CURRENTLY ZONED R24 (TO BE REZONED SH4, LOT 2 IS ZONED R24 AND TO REMAIN R24).
  - 7) ALL LOTS ARE SERVED BY CITY OF NORTHPORT SANITARY SEWER, ALL OTHER PUBLIC AND PRIVATE OWNED PUBLIC UTILITIES AVAILABLE AT SITE.
  - 8) THE PRIVATE INGRESS/EGRESS AND UTILITY EASEMENT, IF SHOWN, AS SHOWN ON THIS MAP OR PLAT DOES NOT CONSTITUTE A DEDICATION OF THE SAME AS A PUBLIC RIGHT-OF-WAY AND WILL NOT BE IMPROVED OR MAINTAINED BY TUSCALOOSA COUNTY UNTIL SUCH TIME AS THE DERIVED EASEMENT HAS BEEN APPROVED BY TUSCALOOSA COUNTY.
  - 9) OWNERS REQUESTED:
    - A) SIDEWALKS ON BRIDGE AVENUE AND 12th STREET
    - B) RIGHT-OF-WAY BRIDGE AVENUE AND 12th STREET
    - C) THE ZONING REQUEST FOR LOT 1
    - D) LOT SIZE VARIANCE FOR LOT 2

**waiver letters**  
**added**

OWNER/DEVELOPER:  
MAKW HOLDINGS, LLC  
3725 28TH AVENUE  
NORTHPORT, ALABAMA 35475

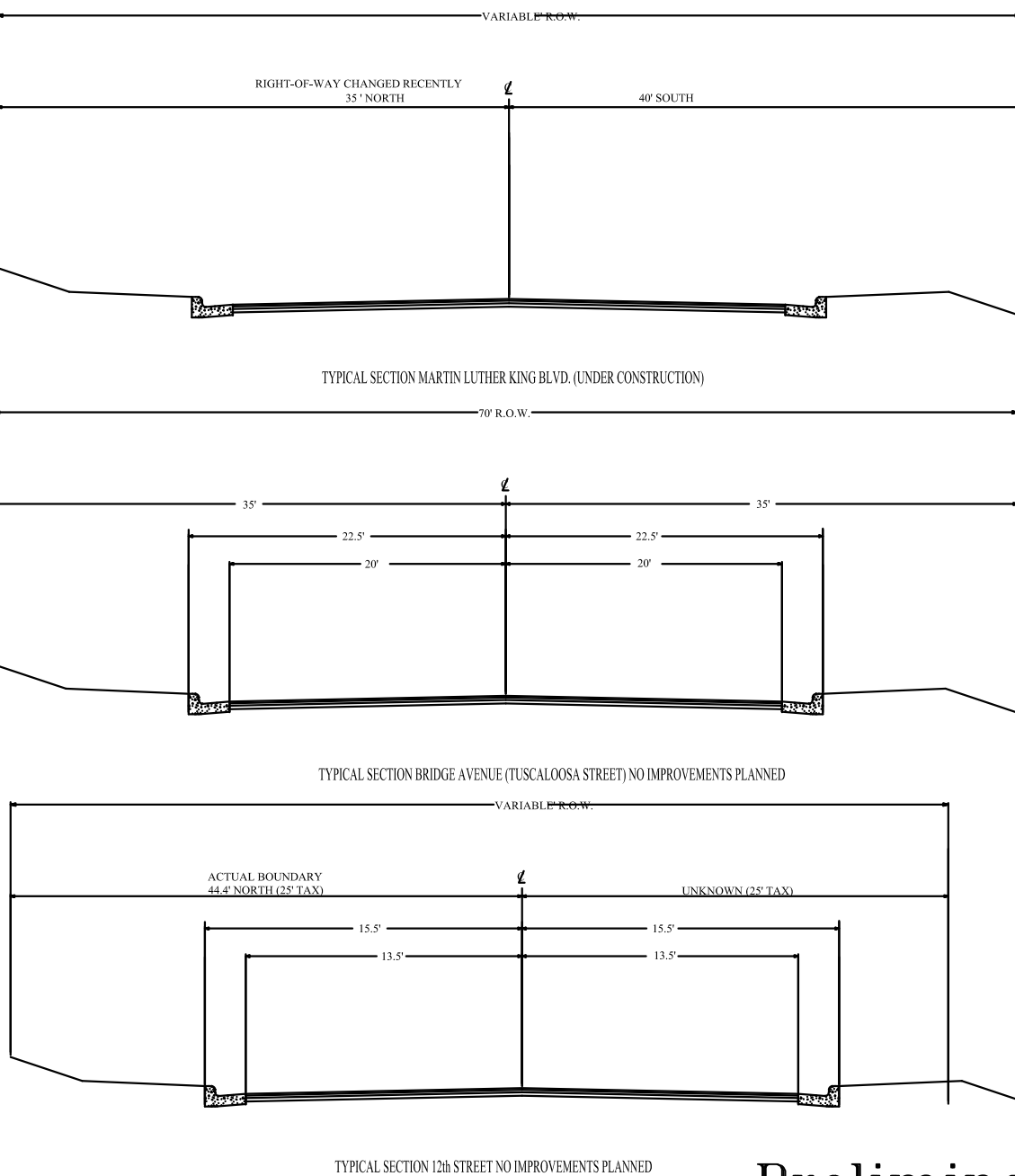
0.23 ACRES OWNED  
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0.14 ADDITIONAL ACRES OWNED

SOUTHWEST CORNER LOT 6  
L. A. TAYLOR SUBDIVISION  
PLAT BOOK 3, PAGE 76  
TUSCALOOSA COUNTY, ALABAMA

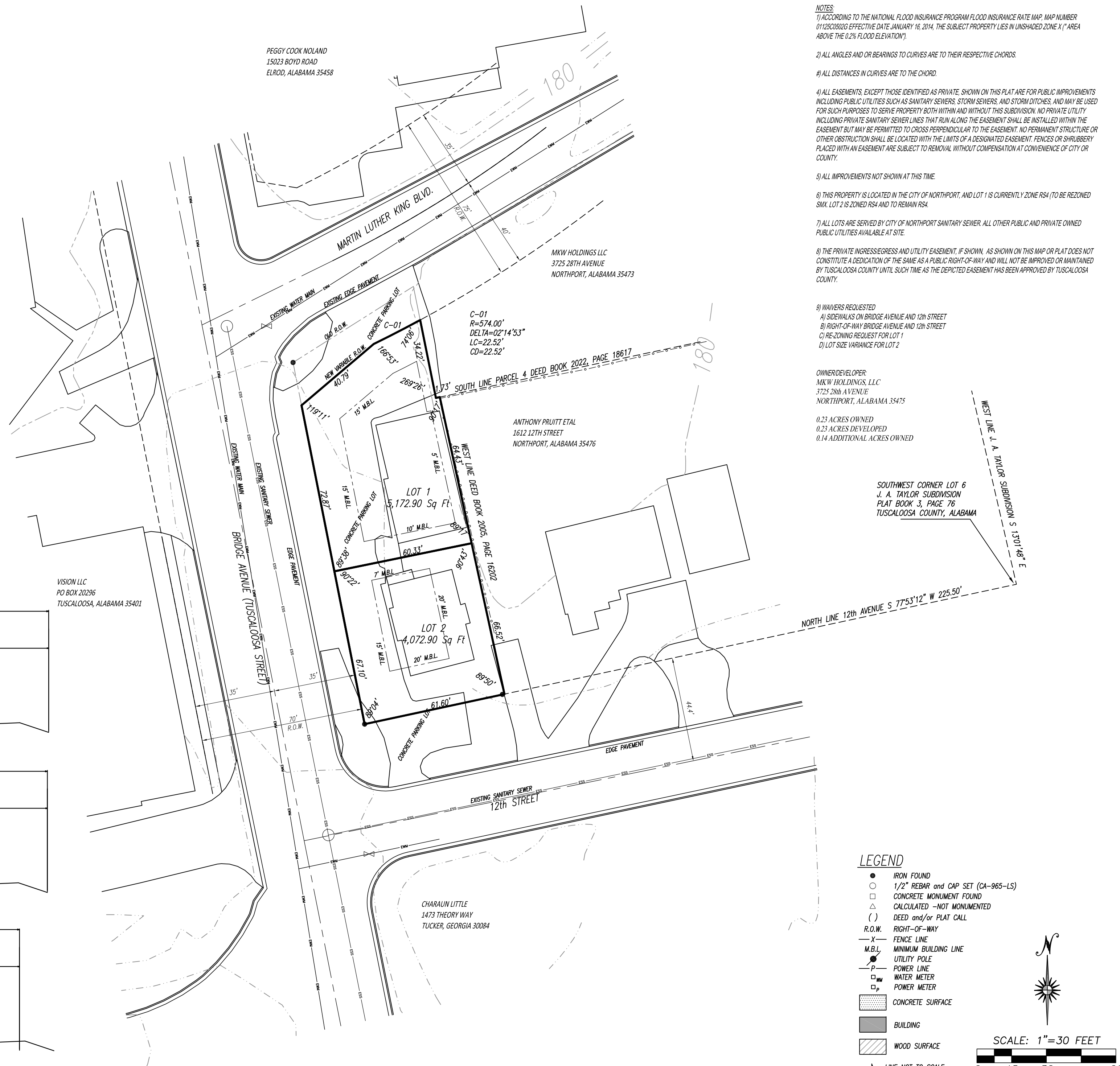


1/8" = 100' Scale 1:2500

PEGGY COOK NOLAND  
15023 BOYD ROAD  
ELROD, ALABAMA 35458



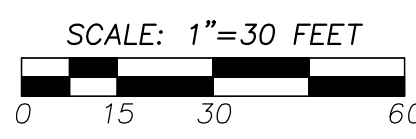
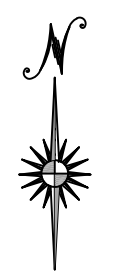
VISION LLC  
PO BOX 20296  
TUSCALOOSA, ALABAMA 35401



- NOTES:**
- 1) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP, MAP NUMBER 0125C0502G EFFECTIVE DATE, JANUARY 16, 2014, THE SUBJECT PROPERTY LIES IN UNSHADED ZONE X ("AREA ABOVE THE 0.2% FLOOD ELEVATION").
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    - B) RIGHT-OF-WAY BRIDGE AVENUE AND 12th STREET
    - C) RE-ZONING REQUEST FOR LOT 1
    - D) LOT SIZE VARIANCE FOR LOT 2
- OWNER/DEVELOPER:  
MKW HOLDINGS, LLC  
3725 28th AVENUE  
NORTHPORT, ALABAMA 35475
- 0.23 ACRES OWNED  
0.23 ACRES DEVELOPED  
0.14 ADDITIONAL ACRES OWNED

**LEGEND**

- IRON FOUND
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- CONCRETE MONUMENT FOUND
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- ( ) DEED and/or PLAT CALL
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- UTILITY POLE
- P- POWER LINE
- WATER METER
- POWER METER
- CONCRETE SURFACE
- BUILDING
- WOOD SURFACE
- LINE NOT TO SCALE



**Preliminary Plat to the Planning and Zoning Commission of Northport**

BASIS OF SURVEY - GRID NORTH - ALABAMA WEST ZONE.

**Montgomery and Hinkle, inc.**  
Professional Land Surveyors

203 Hargrove Road East  
Tuscaloosa, Alabama 35401  
TuscaloosaLandSurvey.com  
Phone - (205) 248-7396 - Fax - (205) 248-7398

kevin@mhsurvey.com  
marty@mhsurvey.com  
office@mhsurvey.com

INFORMATION SOURCES

**WASHINGTON'S ADDITION TO TUSCALOOSA STREET**

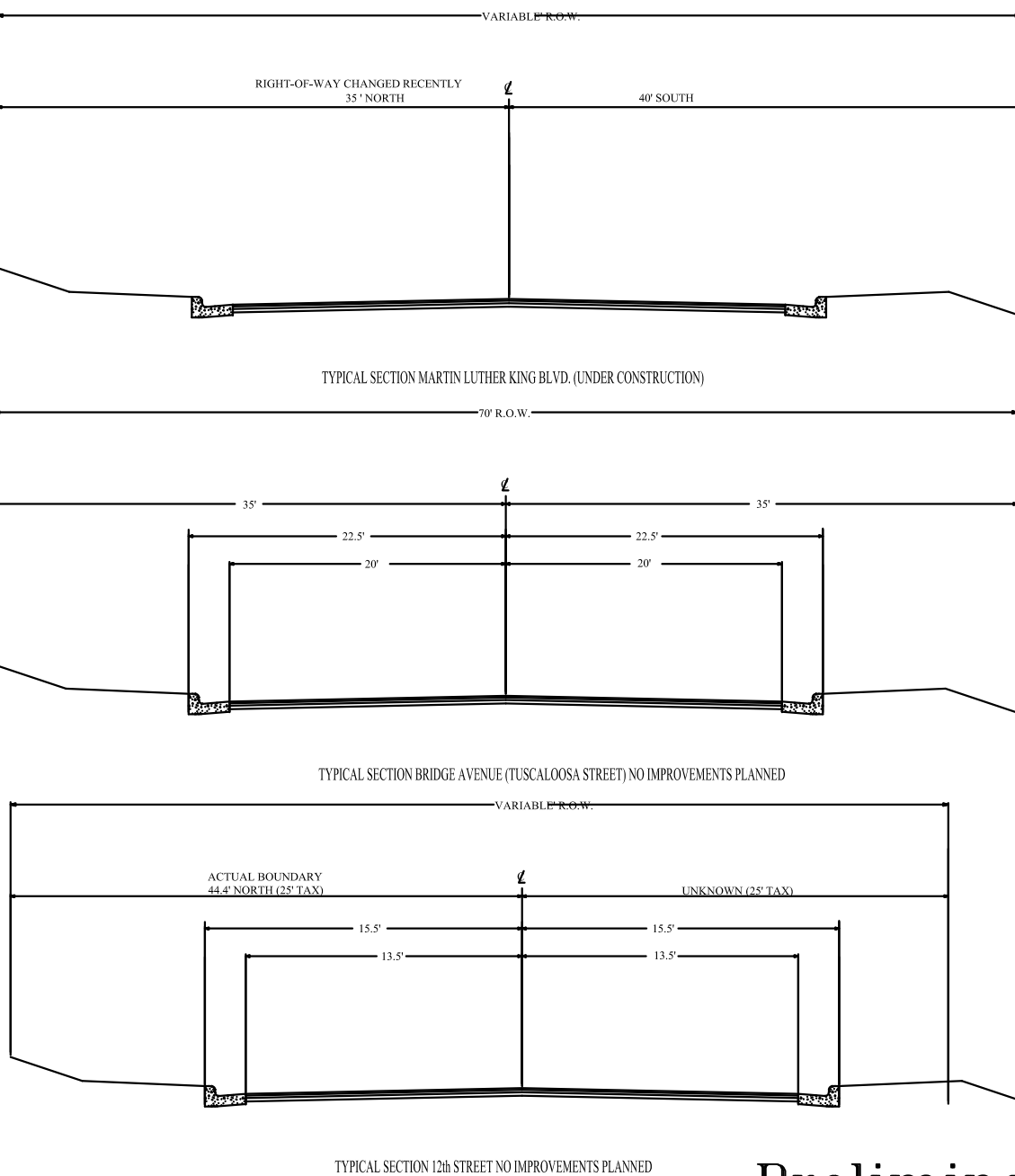
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SECTION 15, TOWNSHIP 21 SOUTH, RANGE 10 WEST  
TUSCALOOSA COUNTY, Alabama

SOURCE OF TITLE:  
DB 2025, PG 2057

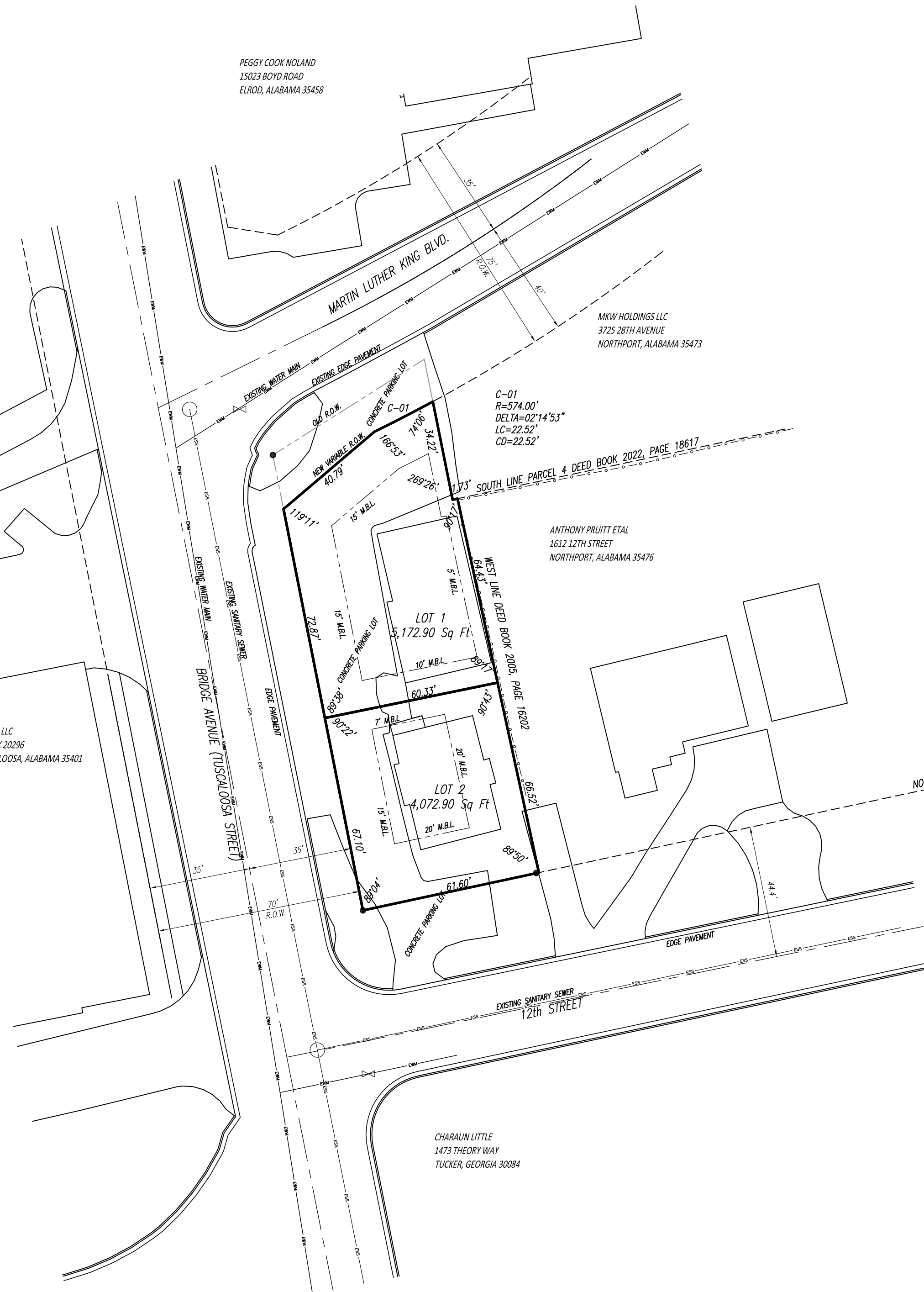
Source of Info.	DB 2025, PG 2057	Job No.	2503-086
Field Work	03/2025	Date	04/28/2025
Survey Type	PLEM PLAT	Scale	1" = 30'
Field Book	D/C	Drawn By	S.M.B.
ACAD File	2503-086 PI PL	Approved By	KDH
COGO File	2503-086.txt	Sheet	1 of 1



PEGGY COOK NOLAN  
15023 BOYD ROAD  
EUROD, ALABAMA 35458



VISION LLC  
PO BOX 20296  
TUSCALOOSA, ALABAMA 35401



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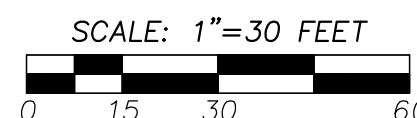
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PLAT BOOK 3, PAGE 76  
TUSCALOOSA COUNTY, ALABAMA

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**Preliminary Plat to the Planning and Zoning Commission of Northport**

BASIS OF SURVEY - GRID NORTH - ALABAMA WEST ZONE.

**Montgomery and Hinkle, inc.**  
Professional Land Surveyors  
203 Hargrove Road East  
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**INFORMATION SOURCES**

**WASHINGTON'S ADDITION TO TUSCALOOSA STREET**

A RESURVEY OF PART OF LOT 88 COOK SURVEY, PLAT BOOK 5, PAGE 145  
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TUSCALOOSA COUNTY, Alabama

**SOURCE OF TITLE:**

DB 2025, PG 2057

Source of Info.	DB 2025, PG 2057	Job No.	2503-086
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ACAD File	2503-086 PI PL	Approved By	KDH
COGO File	2503-086.txt	Sheet	1 of 1

**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** SP-25-2 Nellie Mae and Company, LLC

**Applicant:** Nellie Mae and Company, LLC

**Location:** 703 Main Avenue

**Request:** Conditional Use

Nellie Mae and Company, LLC is requesting conditional use approval for a pet grooming service in a Residential / Commercial / Institutional zone (RCI) for the property located at 703 Main Avenue.

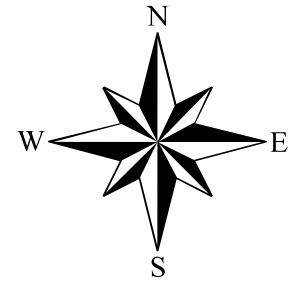
Due to an incomplete application, a continuance is requested for this case.

# City of Northport Planning Commission

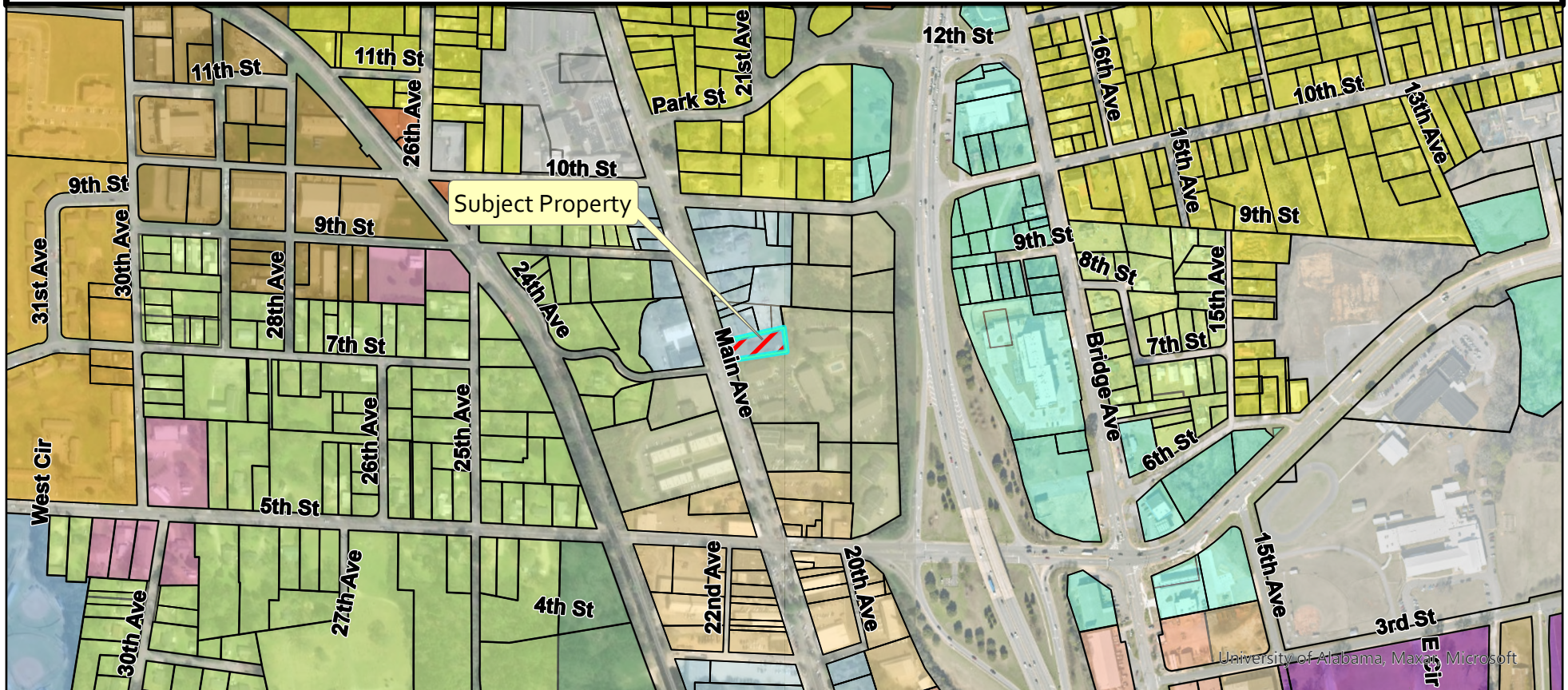
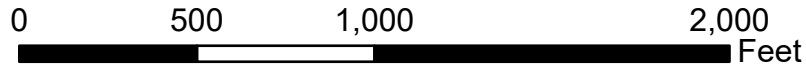
## Conditional Use

### Zoning

- |   |  |  |
|---|--|--|
|  Conservation            |  Neighborhood Center                  |  Urban Mixed-Use    |
|  Neighborhood Commercial |  New Urban Neighborhood               |  Working Riverfront |
|  General Commercial      |  Office and Institutional             |  Parcels            |
|  Historic Downtown Core  |  Residential/Commercial/Institutional |  Subject Property   |
|  Historic Neighborhood   |  Recreational                         |  |
|  Light Industrial        |  Residential Multi-Family             |  |
|  Multi-Family Housing    |  Residential Single-Family - 3        |  |
|   |  Residential Single-Family - 4        |  |
|   |  Suburban Mixed-Use                   |  |



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University of Alabama, Maxx, Microsoft

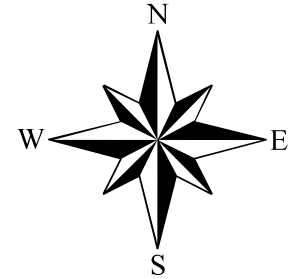
# City of Northport Planning Commission

## Conditional Use

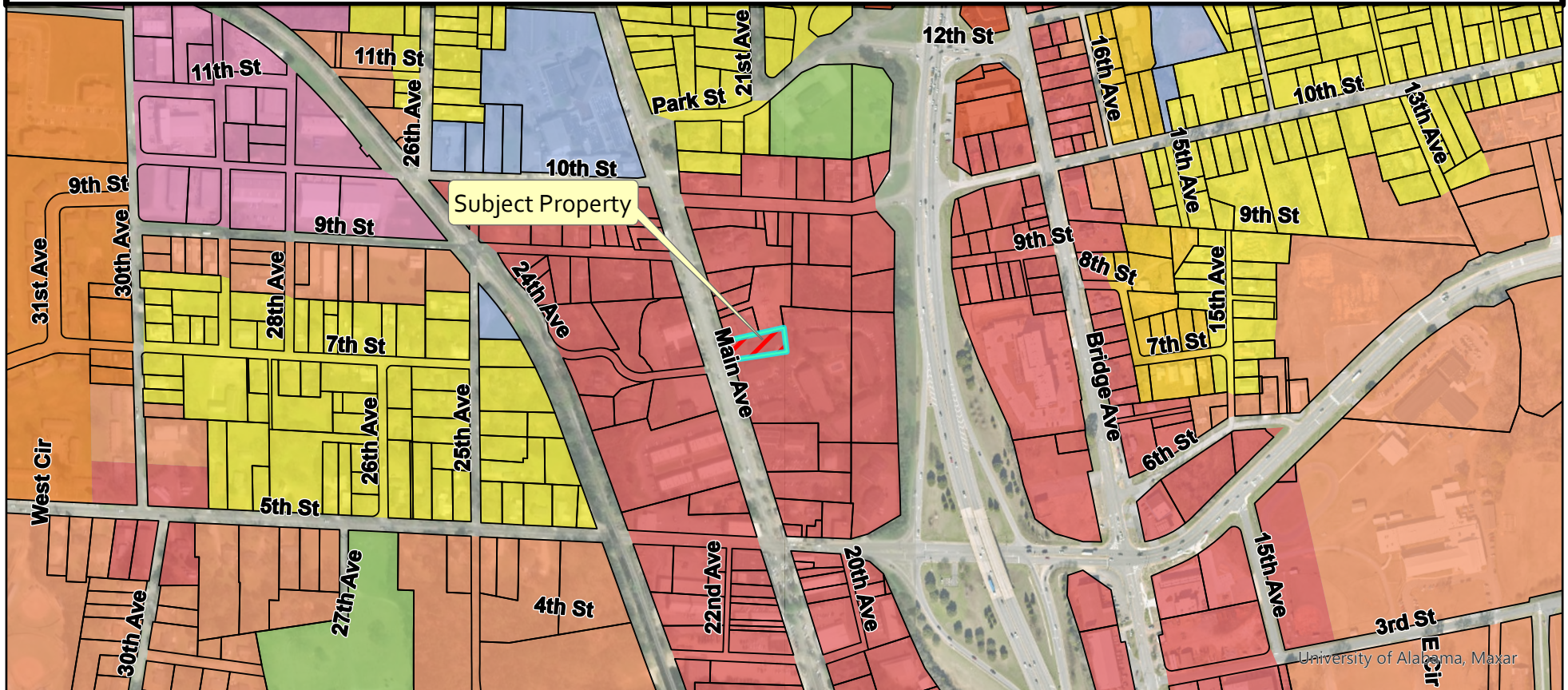
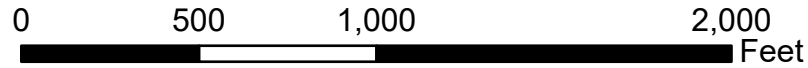
### Future Land Use

- Conservation
- Commercial Mix
- General Mixed-Use
- Limited Mixed-Use
- Multifamily Residential
- High Density Residential

- Medium Density Residential
- Office-Trades Mix
- Institutional
- Parcels
- Subject Property



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University of Alabama, Maxar

A photograph of a residential street scene. In the foreground, there is a paved road with a yellow double line. A sidewalk runs along the left side. Several trees with sparse, brownish leaves are scattered throughout the scene. In the middle ground, a house with a white exterior and a dark roof is visible. A white pickup truck and a dark red car are parked in the driveway of this house. To the right, another house with white siding is partially visible. A utility pole stands on the right side of the road. An orange callout box with a white border and a tail pointing towards the house contains the text: "Subject property as seen from Main Avenue looking east."

Subject property as  
seen from Main  
Avenue looking east.

**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** S-25-12 Washington Addition to Tuskaloosa Street and R-25-7 MKW Holdings

**Applicant:** Montgomery and Hinkle

**Location:** 3400 McFarland Blvd.

**Request:** Preliminary Plat and Rezoning

Montgomery and Hinkle is requesting preliminary plat approval for approximately 0.21 acres located at 1211 Bridge Avenue. The current property is zoned Residential Single-Family (RS-4). The applicant is requesting rezoning of the proposed lot 1 to Suburban Mix (SMX). Table 4-1 of the zoning ordinance details the uses allowed within the RS-1 zone, while table 6-8 lists the uses allowed within the SMX zone. Both of these tables are included at the end of this report.

The following waivers are requested with this plat.

- **Sidewalks** - The subdivision regulations require that sidewalks be constructed along all right-of-way frontages. A waiver has been requested for sidewalk construction on Bridge Ave. There are no adjacent sidewalks, but much of the east side of Bridge Ave. has existing sidewalks. A streetscape project is planned for Bridge Avenue that would include sidewalks. Funding for design engineering on this project will be considered by the City Council at the July 7<sup>th</sup>, 2025 meeting. Sidewalks on the MLK Jr. Blvd. side are being constructed in an ongoing City project. Sidewalks on Bridge Ave. are proposed in the City’s Comprehensive Plan and in the MPO’s Bicycle and Pedestrian Plan. A waiver has been requested for sidewalk construction on 12th St. There are no adjacent sidewalks on 12th St. Sidewalks are not proposed in the City’s Comprehensive Plan or the MPO’s Bicycle and Pedestrian Plan. The commission would have the option to either 1) require the sidewalks, 2) waive the sidewalk requirement completely, or 3) waive sidewalk construction and require a payment into the sidewalk bank.
- **Right-of-way Dedication** - A waiver has been requested for ROW dedication on Bridge Ave. Bridge Ave. is classified as a minor arterial, so 90' of ROW is required. The comprehensive plan does not include any lane additions, and the existing ROW appears to accommodate sidewalk construction now or in a future project. A waiver has been requested for ROW dedication on 12th St. There is already more than 30' of ROW from center line, so this waiver is not required.

The minimum lot size for the portion of the property remaining RS-4 is 6,000 square feet. As the proposed lot 2 falls beneath this threshold, a variance will be required from the Zoning Board of

Adjustment. The applicant has applied for this variance and is on the agenda for the July, 2025 ZBA meeting.

The current property consists of a residential duplex and a vacant commercial building on one lot. It is surrounded to the north across MLK Boulevard by an office building zoned General Commercial (C-3); to the east by single-family detached residential zoned Residential Single-Family (RS-4); to the south across 12<sup>th</sup> street by single family detached residential zoned Residential Single-Family (RS-4); and to the west across Bridge Avenue by an office building zoned Suburban Mix (SMX). The future land use plan contained within Northport Compass depicts this property as “General Mixed Use”. The requested zoning is not in conflict with the comprehensive plan.

Any action on the subdivision item will require 6 affirmative votes. Should this agenda item fail, the reasons for any non-affirmative votes must be stated on the record. Any approval of this plat should be contingent upon 1) rezoning being approved by City Council, and 2) a variance being granted for the minimum lot size.

Any action on the rezoning will be a recommendation to City Council.

Table 4-1 showing uses allowed within Residential zoning districts:

Table 4-1 Use Regulations, Residential Districts

	RS-1	RS-2	RS-3	RM
<b>Residential Uses</b>				
Assisted and independent living facilities				C
Boarding house				C
Cottage development, subject to <a href="#">§7.10</a>				P
Duplex, subject to <a href="#">§7.12</a>				P
Manufactured home subdivision				C
Manufactured home park, subject to <a href="#">§7.28</a>				C
Multifamily dwellings, subject to <a href="#">§7.31</a>				P
Single-family dwelling, detached	P	P	P	P
Single-family dwelling, Zero Lot Line, subject to <a href="#">§7.49</a>				P
Townhouse, subject to <a href="#">§7.45</a>				P
Twin houses, subject to <a href="#">§7.46</a>				P
<b>Nonresidential Uses</b>				
Amateur radio tower, subject to <a href="#">§3.04.04.F</a>	P	P	P	
Bed and breakfast, subject to <a href="#">§7.05</a>	C	C	C	
Cemetery, accessory to place of worship	C	C	C	C
Cemetery, as a principal use				C
Community center	C	C	C	P
Country club	C	C	C	C
Day care and Nighttime care centers	C	C	C	C
Extended care facility				C
Family day care and Nighttime homes, subject to <a href="#">§7.14</a>	P	P	P	P
Family care home, subject to <a href="#">§7.19</a>				P
Golf course	P	P	P	P
Group day care home, subject to <a href="#">§7.14</a>	C	C	C	C
Group homes, other than Family Care Homes, subject to <a href="#">§7.19</a>				C
Home occupation, subject to <a href="#">§7.21</a>	P	P	P	P
Park, playground, nature preserve	P	P	P	P
Parking, freestanding	C	C	C	C
Place of worship, subject to <a href="#">§7.34</a>	C	C	C	P
Public facility	P	P	P	P
Public utility facility, major	C	C	C	C
Public utility facility, minor	P	P	P	P
Recreational facilities, accessory (swimming pools, tennis courts)	P	P	P	P
Schools, private	C	C	C	C
Short-term rental, subject to <a href="#">§7.40</a>	P	P	P	P

P – The use is permitted by right

A blank cell indicates the use is prohibited.

C – The use requires Conditional Use approval, see [§12.05](#)

Table 6-8 showing allowable uses with SMX zoning district:

Table 6-8 Permitted Uses, Downtown Districts

P – Permitted by Right	C – Conditional Use, see <a href="#">§12.05</a>	SE – Special Exception, see <a href="#">§14.04</a>	A blank cell indicates the use is prohibited			
Nonresidential Uses	UMX	LMX	HDC	RCI	SMX	HN
Ambulance service, subject to <a href="#">§7.04</a>					P	
Artisanal manufacturing	C	C	C	C	C	
Bank or Financial services, excluding Alternative Financial Services	P	P	P	P		
Bar	P	P	C		P	
Bed and Breakfast	C	C		C	C	C
Brewpub	P		P		P	
Business or Professional office	P	P	P	P	P	
Business support service	P	P			P	
Cemetery						C
Commercial school, fully enclosed	P		P	P	P	
Commissary	P	P	C		P	
Communication tower, subject to <a href="#">§7.06</a>					C	
Cottage developments, subject to <a href="#">§7.10</a>				P		
Day care center	P	P	P	P	P	
Dry cleaning pick-up/drop-off business	P	P	P		P	
Entertainment, Indoor	P	P	P	C	P	
Entertainment, Outdoor	C				C	
Extended care facility				P	P	
Garden center or Nursery	C				P	
General retail, Enclosed	P	P	P	P	P	
Home occupation, subject to <a href="#">§7.21</a>	P	P	P	P	P	P
Hotel	P	P	P		P	
Institutional uses, Major, subject to <a href="#">§7.24</a>	C	C	C	P	C	
Institutional uses, Minor	P	P	P	P	P	
Package Store	C		C		C	
Parking, Freestanding	P	P	P	C	P	
Parking, Structured (also refer to district regulations)	P	P	P	P	P	
Passenger terminal	C				C	
Personal services	P	P	P	P	P	
Public facility	P	P	P	P	P	P
Public utility facility, Minor	C	C			C	C
Recreation, Indoor	P	P	P	P	P	
Recreation, Outdoor	C				C	
Recycling center, subject to <a href="#">§7.36</a>	C				C	
Repair services, subject to <a href="#">§7.37</a>					P	
Restaurant-bar	P	P	P		P	
Restaurant, Standard	P	P	P	P	P	
Restaurant, Take-out or delivery only	P	P	P		P	
Short-term rental, subject to <a href="#">§7.40</a>	P	P	P	P	P	P
Studio (dancing, music, art)	P	P	P	P	P	
Veterinary office, Pet grooming, no outdoor pens, subject to <a href="#">§7.48</a>	C	C		P	C	

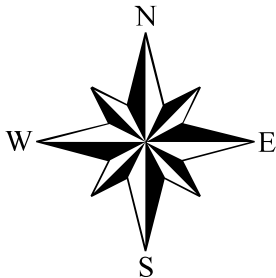
Table 6-8, continued:

**Table 6-8 Permitted Uses, Downtown Districts**

P – Permitted by Right	C – Conditional Use, see <a href="#">§12.05</a>	SE – Special Exception, see <a href="#">§14.04</a>	A blank cell indicates the use is prohibited			
<b>Residential Uses</b>	UMX	LMX	HDC	RCI	SMX	HN
Accessory dwellings, subject to <a href="#">§7.02</a>				SE		
Caretaker dwelling, subject to <a href="#">§6.05.03.A.2</a>	C	C		C	C	
Duplex, subject to <a href="#">§7.12</a>				P		P
Single-family dwelling, detached				P		P
Townhouses, subject to <a href="#">§7.45</a>		C		C	C	
Upper-story dwellings	P	P	P	P	P	

# City of Northport Planning Commission

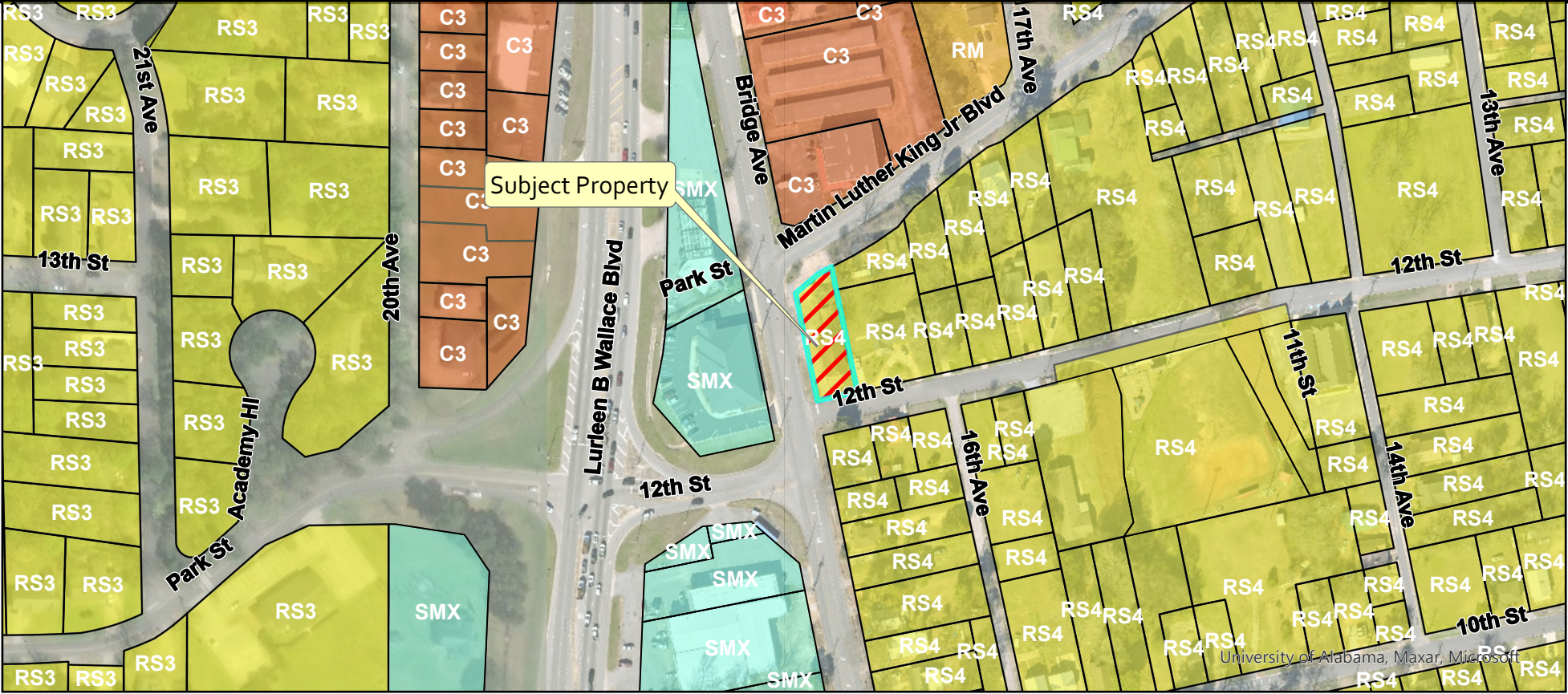
## Preliminary Plat / Rezoning



### Zoning

- General Commercial
- Residential Multi-Family
- Residential Single-Family - 3
- Residential Single-Family - 4
- Suburban Mixed-Use
- Parcels
- Subject Property

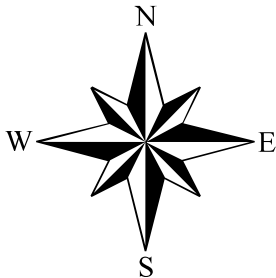
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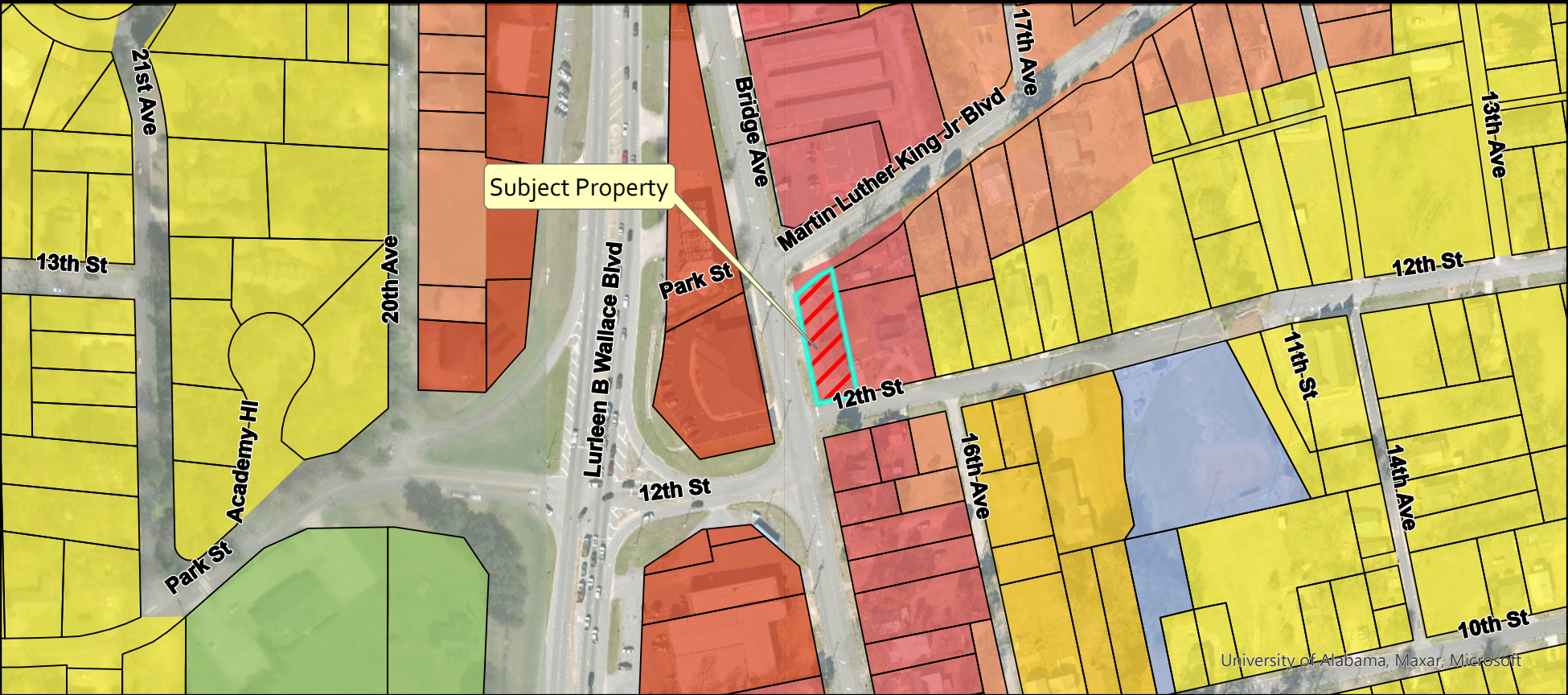
# City of Northport Planning Commission

## Preliminary Plat / Rezoning



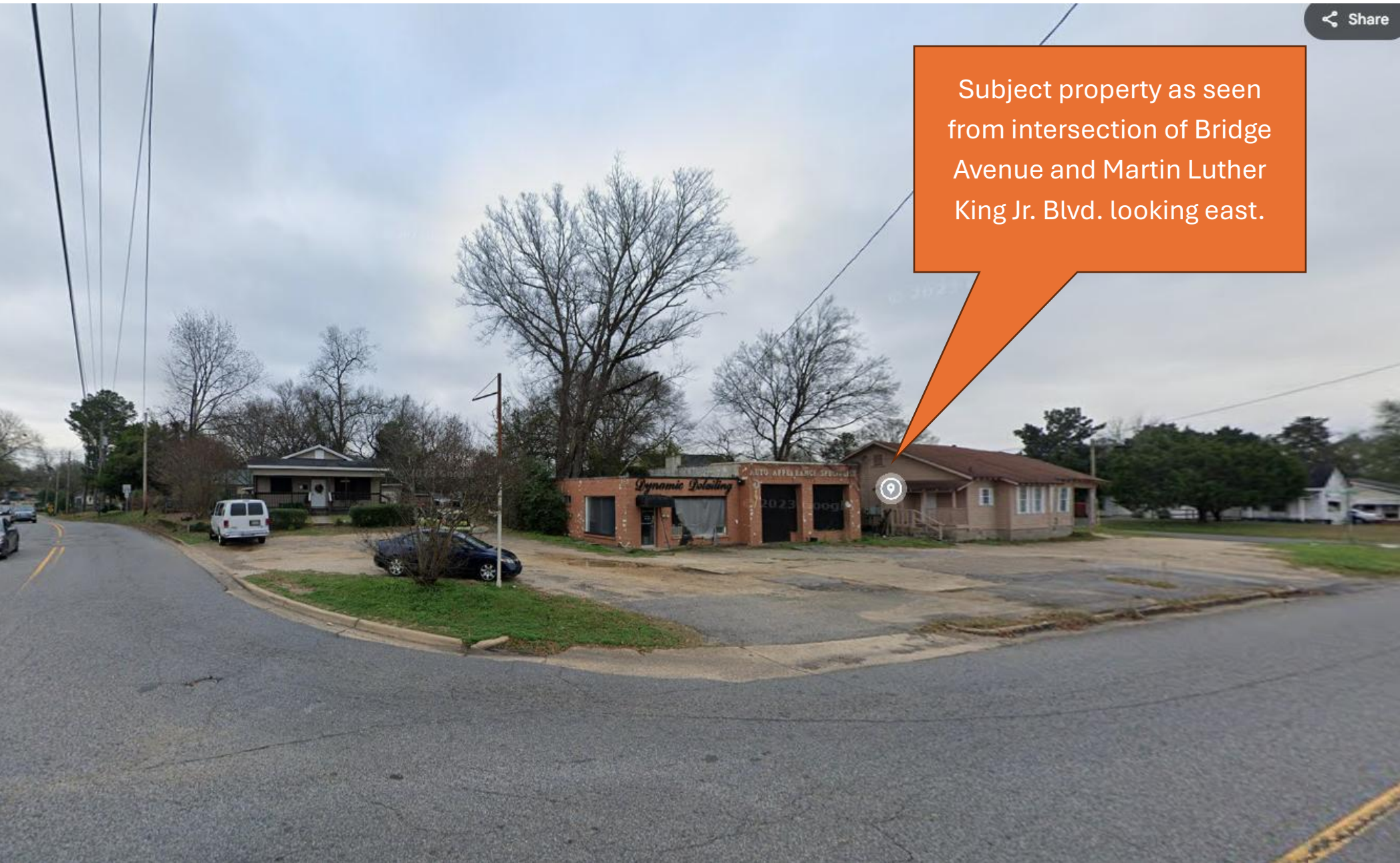
- Future Land Use**
- Conservation
  - Commercial Mix
  - General Mixed-Use
  - Limited Mixed-Use
  - High Density Residential
  - Medium Density Residential
  - Institutional
  - Parcels
  - Subject Property

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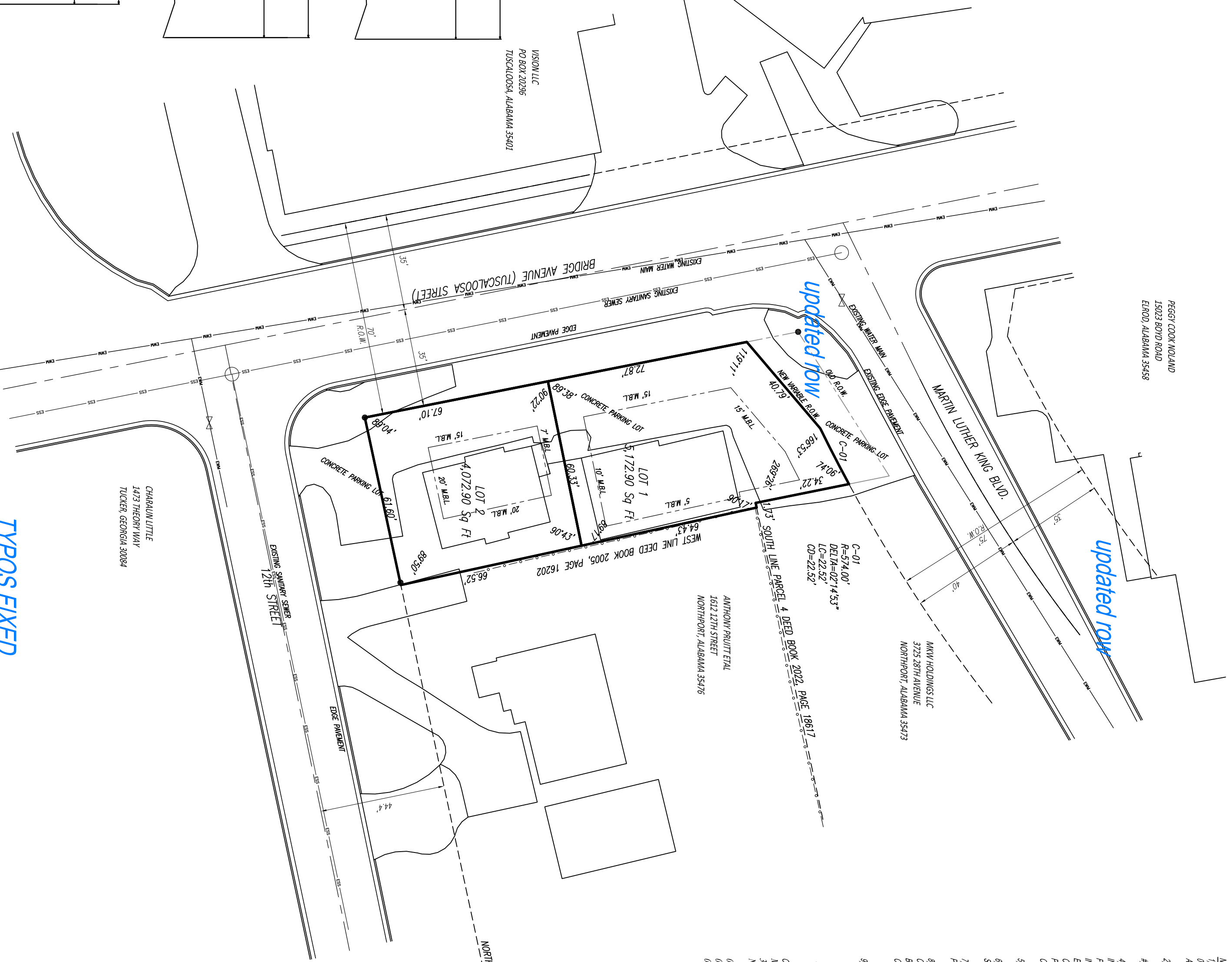
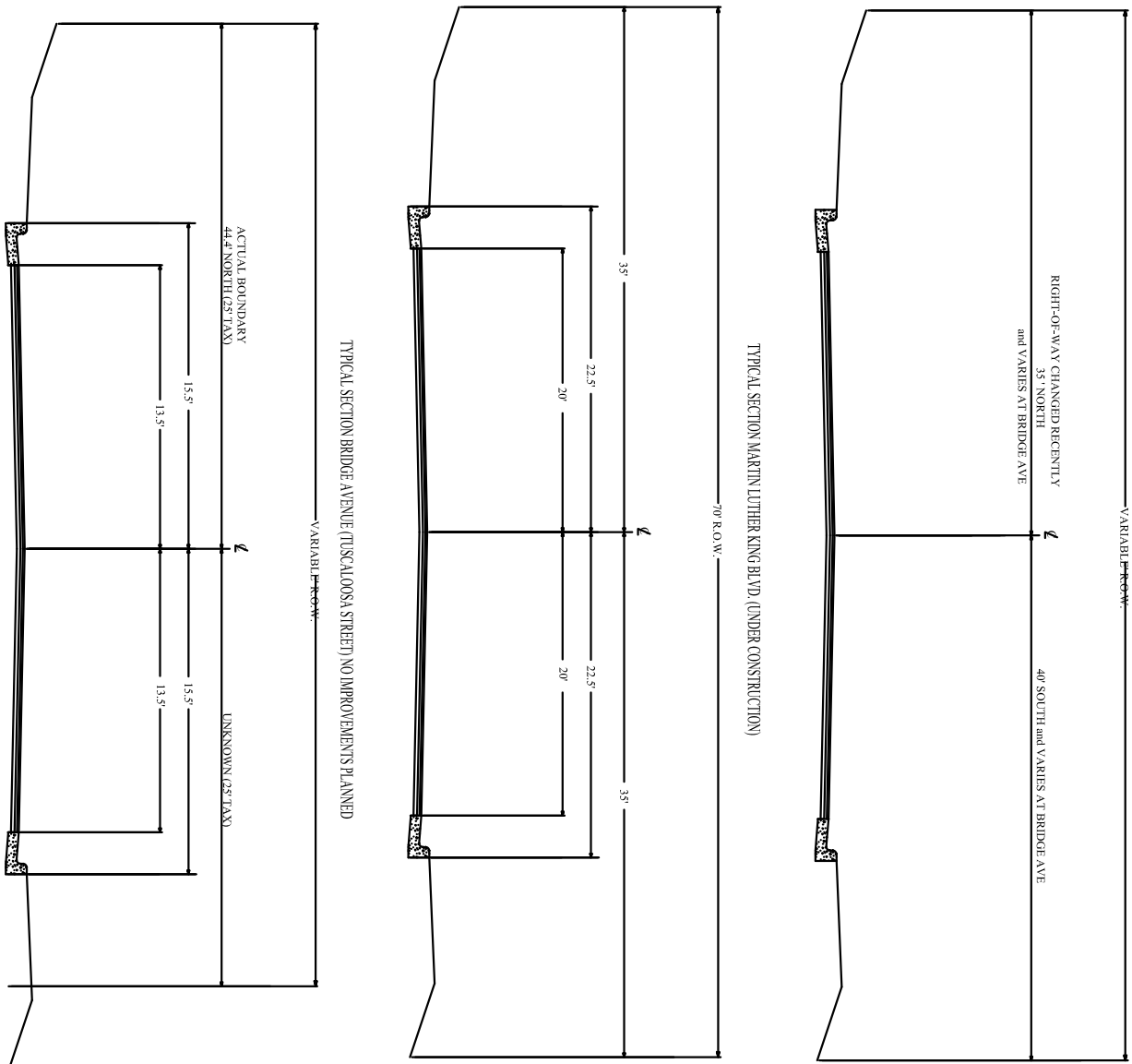
University of Alabama, Maxar, Microsoft

Subject property as seen from intersection of Bridge Avenue and Martin Luther King Jr. Blvd. looking east.





street cross sections  
changed 06/18/2025



**TYPOS FIXED**  
**ADDED PRE PLAT TITLE**

**waiver letters**  
**added**

Preliminary Plat to the Planning and Zoning Commission of Northport

**Montgomery and Hinkle, inc.**  
Professional Land Surveyors

203 Hargrove Road (East)  
Tuscaloosa, AL 35401  
Phone - (205) 248-7396 - Fax - (205) 248-7398  
Tuscaloosa.survey.com  
meh@mhsurvey.com  
office@mhsurvey.com

WASHINGTON'S ADDITION TO TUSCALOOSA STREET

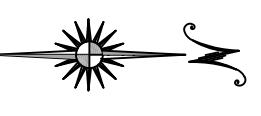
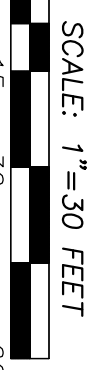
A RESURVEY OF PART OF LOT 88 COOK SURVEY, PLAT BOOK 5, PAGE 145  
PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER  
SECTION 16, TOWNSHIP 21 SOUTH, RANGE 10 WEST  
TUSCALOOSA COUNTY, Alabama

SOURCE OF TITLE

DB 2025, PG 2057

LEGEND

- IRON ROUND
- 1/2" REBAR and CAP SET (C#-965-1S)
- CONCRETE MONUMENT ROUND
- △ CALCULATED - NOT MONUMENTED
- ( ) DEED and/or PLAT CALL
- R.O.W. RIGHT-OF-WAY
- X- FENCE LINE
- M.B.L. MINIMUM BUILDING LINE
- UTILITY POLE
- P- POWER LINE
- W- WATER METER
- D- POWER METER
- CONCRETE SURFACE
- BUILDING
- WOOD SURFACE
- LINE NOT TO SCALE



- NOTES
- 1) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 01120203G EFFECTIVE DATE JANUARY 16, 2014, THE SUBJECT PROPERTY LIES IN UNSHADED ZONE "V" AREA ABOVE THE 1% FLOOD ELEVATION.
  - 2) ALL ANGLES AND OR BEARINGS ARE TO THEIR RESPECTIVE CHORDS.
  - 3) ALL DISTANCES IN CURVES ARE TO THE CHORD.
  - 4) ALL EASEMENTS EXCEPT THOSE IDENTIFIED AS PRIVATE SHOWN ON THIS PLAT ARE FOR PUBLIC IMPROVEMENTS INCLUDING PUBLIC UTILITIES SUCH AS SANITARY SEWERS, STORM SEWERS AND STORM DITCHES, AND MAY BE USED FOR SUCH PURPOSES TO SERVE PROPERTY BOTH WITHIN AND WITHOUT THIS SUBDIVISION, AND PRIVATE UTILITY INCLUDING PRIVATE SANITARY SEWER LINES THAT RUN ALONG THE EASEMENT SHALL BE INSTALLED WITHIN THE EASEMENT BUT MAY BE REROUTED TO CROSS PERPENDICULAR TO THE EASEMENT AND PERMANENT STRUCTURE OR OTHER OBSTRUCTION SHALL BE LOCATED WITHIN THE LIMITS OF A DESIGNATED EASEMENT, FENCES OR SHROBBERY PLACED WITH AN EASEMENT ARE SUBJECT TO REMOVAL WITHOUT COMPENSATION AT CONVENIENCE OF CITY OR COUNTY.
  - 5) ALL IMPROVEMENTS NOT SHOWN AT THIS TIME.
  - 6) THIS PROPERTY IS LOCATED IN THE CITY OF NORTHPORT, AND LOT 1 IS CURRENTLY ZONED R24 (TO BE REZONED SML LOT 2 IS ZONED R24 AND TO REMAIN R24).
  - 7) ALL LOTS ARE SERVED BY CITY OF NORTHPORT SANITARY SEWER, ALL OTHER PUBLIC AND PRIVATE OWNED PUBLIC UTILITIES AVAILABLE AT SITE.
  - 8) THE PRIVATE INGRESS/EGRESS AND UTILITY EASEMENT, IF SHOWN, AS SHOWN ON THIS MAP OR PLAT DOES NOT CONSTITUTE A DEDICATION OF THE SAME AS A PUBLIC RIGHT-OF-WAY AND WILL NOT BE IMPROVED OR MAINTAINED BY TUSCALOOSA COUNTY UNTIL SUCH TIME AS THE DERIVED EASEMENT HAS BEEN APPROVED BY TUSCALOOSA COUNTY.
  - 9) OWNERS REQUESTED:
    - A) SIDEWALK ON BRIDGE AVENUE AND 12th STREET
    - B) RIGHT-OF-WAY BRIDGE AVENUE AND 12th STREET
    - C) THE ZONING REQUEST FOR LOT 1
    - D) LOT SIZE VARIANCE FOR LOT 2

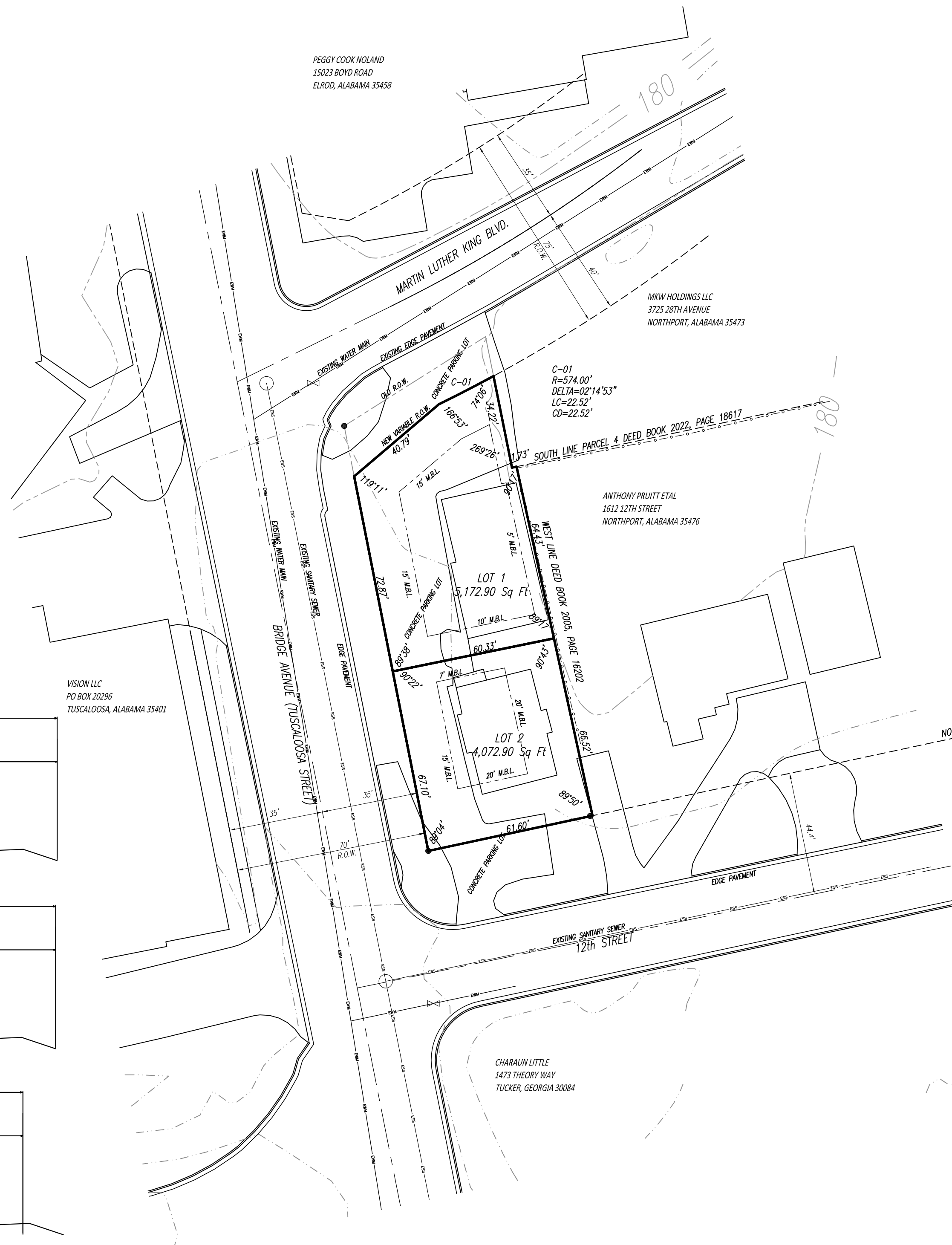
OWNER/BELIEVER:  
MKW HOLDINGS, LLC  
3725 28TH AVENUE  
NORTHPORT, ALABAMA 35475

0.23 ACRES OWNED  
0.23 ACRES DEVELOPED  
0.14 ADDITIONAL ACRES OWNED

SOUTHWEST CORNER LOT 6  
L. A. TAYLOR SUBDIVISION  
PLAT BOOK 3, PAGE 76  
TUSCALOOSA COUNTY, ALABAMA



PEGGY COOK NOLAN  
15023 BOYD ROAD  
ELROD, ALABAMA 35458

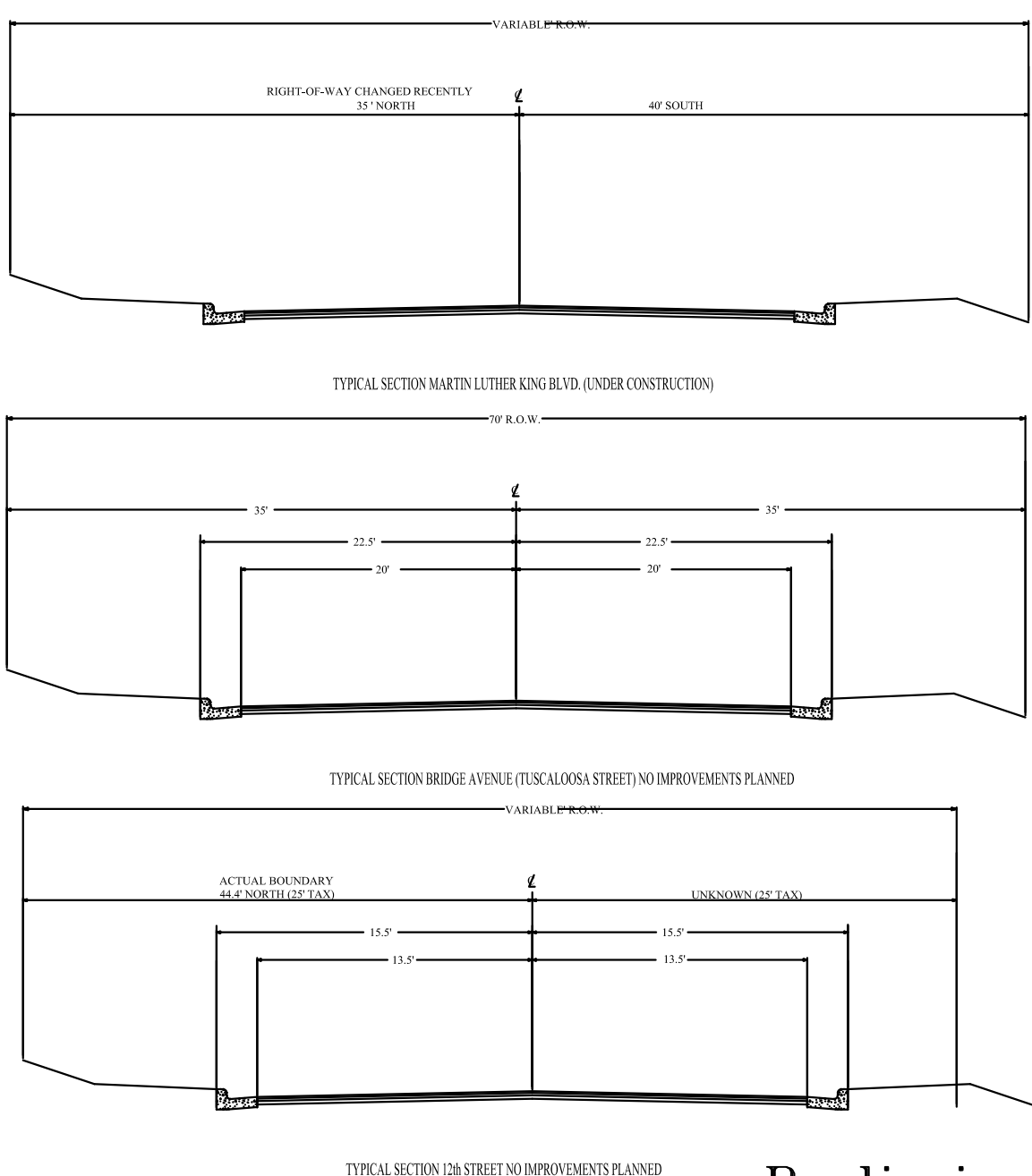


- NOTES:**
- 1) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP, MAP NUMBER 0125C0502G EFFECTIVE DATE, JANUARY 16, 2014, THE SUBJECT PROPERTY LIES IN UNSHADED ZONE X ("AREA ABOVE THE 0.2% FLOOD ELEVATION").
  - 2) ALL ANGLES AND OR BEARINGS TO CURVES ARE TO THEIR RESPECTIVE CHORDS.
  - 3) ALL DISTANCES IN CURVES ARE TO THE CHORD.
  - 4) ALL EASEMENTS, EXCEPT THOSE IDENTIFIED AS PRIVATE, SHOWN ON THIS PLAT ARE FOR PUBLIC IMPROVEMENTS INCLUDING PUBLIC UTILITIES SUCH AS SANITARY SEWERS, STORM SEWERS, AND STORM DITCHES, AND MAY BE USED FOR SUCH PURPOSES TO SERVE PROPERTY BOTH WITHIN AND WITHOUT THIS SUBDIVISION. NO PRIVATE UTILITY INCLUDING PRIVATE SANITARY SEWER LINES THAT RUN ALONG THE EASEMENT SHALL BE INSTALLED WITHIN THE EASEMENT BUT MAY BE PERMITTED TO CROSS PERPENDICULAR TO THE EASEMENT. NO PERMANENT STRUCTURE OR OTHER OBSTRUCTION SHALL BE LOCATED WITH THE LIMITS OF A DESIGNATED EASEMENT. FENCES OR SHRUBBERY PLACED WITH AN EASEMENT ARE SUBJECT TO REMOVAL WITHOUT COMPENSATION AT CONVENIENCE OF CITY OR COUNTY.
  - 5) ALL IMPROVEMENTS NOT SHOWN AT THIS TIME.
  - 6) THIS PROPERTY IS LOCATED IN THE CITY OF NORTHPORT, AND LOT 1 IS CURRENTLY ZONE RS4 (TO BE REZONED SMX. LOT 2 IS ZONED RS4 AND TO REMAIN RS4).
  - 7) ALL LOTS ARE SERVED BY CITY OF NORTHPORT SANITARY SEWER. ALL OTHER PUBLIC AND PRIVATE OWNED PUBLIC UTILITIES AVAILABLE AT SITE.
  - 8) THE PRIVATE INGRESS/EGRESS AND UTILITY EASEMENT, IF SHOWN, AS SHOWN ON THIS MAP OR PLAT DOES NOT CONSTITUTE A DEDICATION OF THE SAME AS A PUBLIC RIGHT-OF-WAY AND WILL NOT BE IMPROVED OR MAINTAINED BY TUSCALOOSA COUNTY UNTIL SUCH TIME AS THE DEPICTED EASEMENT HAS BEEN APPROVED BY TUSCALOOSA COUNTY.
  - 9) WAIVERS REQUESTED
    - A) SIDEWALKS ON BRIDGE AVENUE AND 12th STREET
    - B) RIGHT-OF-WAY BRIDGE AVENUE AND 12th STREET
    - C) RE-ZONING REQUEST FOR LOT 1
    - D) LOT SIZE VARIANCE FOR LOT 2

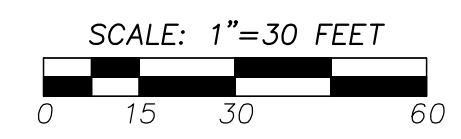
OWNER/DEVELOPER:  
MKW HOLDINGS, LLC  
3725 28th AVENUE  
NORTHPORT, ALABAMA 35475

0.23 ACRES OWNED  
0.23 ACRES DEVELOPED  
0.14 ADDITIONAL ACRES OWNED

SOUTHWEST CORNER LOT 6  
J. A. TAYLOR SUBDIVISION  
PLAT BOOK 3, PAGE 76  
TUSCALOOSA COUNTY, ALABAMA



- LEGEND**
- IRON FOUND
  - 1/2" REBAR and CAP SET (CA-965-LS)
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  - P- POWER LINE
  - WATER METER
  - POWER METER
  - CONCRETE SURFACE
  - BUILDING
  - WOOD SURFACE
  - - - LINE NOT TO SCALE



**Preliminary Plat to the Planning and Zoning Commission of Northport**

BASIS OF SURVEY - GRID NORTH - ALABAMA WEST ZONE.

**Montgomery and Hinkle, inc.**  
Professional Land Surveyors

203 Hargrove Road East  
Tuscaloosa, Alabama 35401  
TuscaloosaLandSurvey.com  
Phone - (205) 248-7396 - Fax - (205) 248-7398

kevin@mhsurvey.com  
marty@mhsurvey.com  
office@mhsurvey.com

INFORMATION SOURCES

**WASHINGTON'S ADDITION TO TUSCALOOSA STREET**

A RESURVEY OF PART OF LOT 88 COOK SURVEY, PLAT BOOK 5, PAGE 145  
PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER  
SECTION 15, TOWNSHIP 21 SOUTH, RANGE 10 WEST  
TUSCALOOSA COUNTY, Alabama

SOURCE OF TITLE:  
DB 2025, PG 2057

Source of Info.	DB 2025, PG 2057	Job No.	2503-086
Field Work	03/2025	Date	04/28/2025
Survey Type	PLEM PLAT	Scale	1" = 30'
Field Book	D/C	Drawn By	S.M.B.
ACAD File	2503-086 PI PL	Approved By	KDH
COGO File	2503-086.txt	Sheet	1 of 1



**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** S-25-14 W&M Subdivision  
**Applicant:** Herndon, Hicks and Associates  
**Location:** 1802 18<sup>th</sup> Avenue  
**Request:** Preliminary Plat

Herndon, Hicks and Associates is requesting preliminary plat approval for approximately 0.40 acres located at 1802 18<sup>th</sup> Avenue. The property is currently spread across remnant portions of 3 lots. The proposed plat would consolidate the site into one lot.

The following waivers are requested with this plat.

- **Right-of-way Dedication** - A waiver has been requested for ROW dedication on 18th Ave. The existing ROW is only 25', while the regulations require 60'.
- **Half-Street Improvements** - A waiver has been requested for half-street improvements on 18th Ave. The existing road width is approximately 17 feet, while 31 feet is required. This is very narrow, especially in a commercial zone. It should be considered, however, that this is a one-way street which are typically narrower.
- **Sidewalks** - A waiver has been requested a waiver for sidewalk construction on 18th Ave. There are no adjacent sidewalks. Sidewalks are not proposed in the City's Comprehensive Plan or in the MPO's Bicycle and Pedestrian Plan. The commission would have the option to either 1) require the sidewalks, 2) waive the sidewalk requirement completely, or 3) waive sidewalk construction and require a payment into the sidewalk bank.

The current property consists of a vacant lot zoned General Commercial (C-3). It is surrounded to the north by a single-family residence zoned General Commercial (C-3); to the east across 18<sup>th</sup> Avenue by single-family residences zoned Residential Single-Family (RS-4); and to the south and west by a gas station zoned General Commercial (C-3).







The future land use plan contained within Northport Compass depicts this property as "Limited Mixed Use". The request is not in conflict with the comprehensive plan.








Any action on this item will require 6 affirmative votes. Should this agenda item fail, the reasons for any non-affirmative votes must be stated on the record.

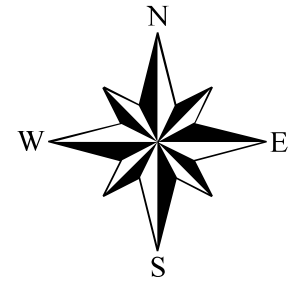
# City of Northport Planning Commission

## Preliminary Plat

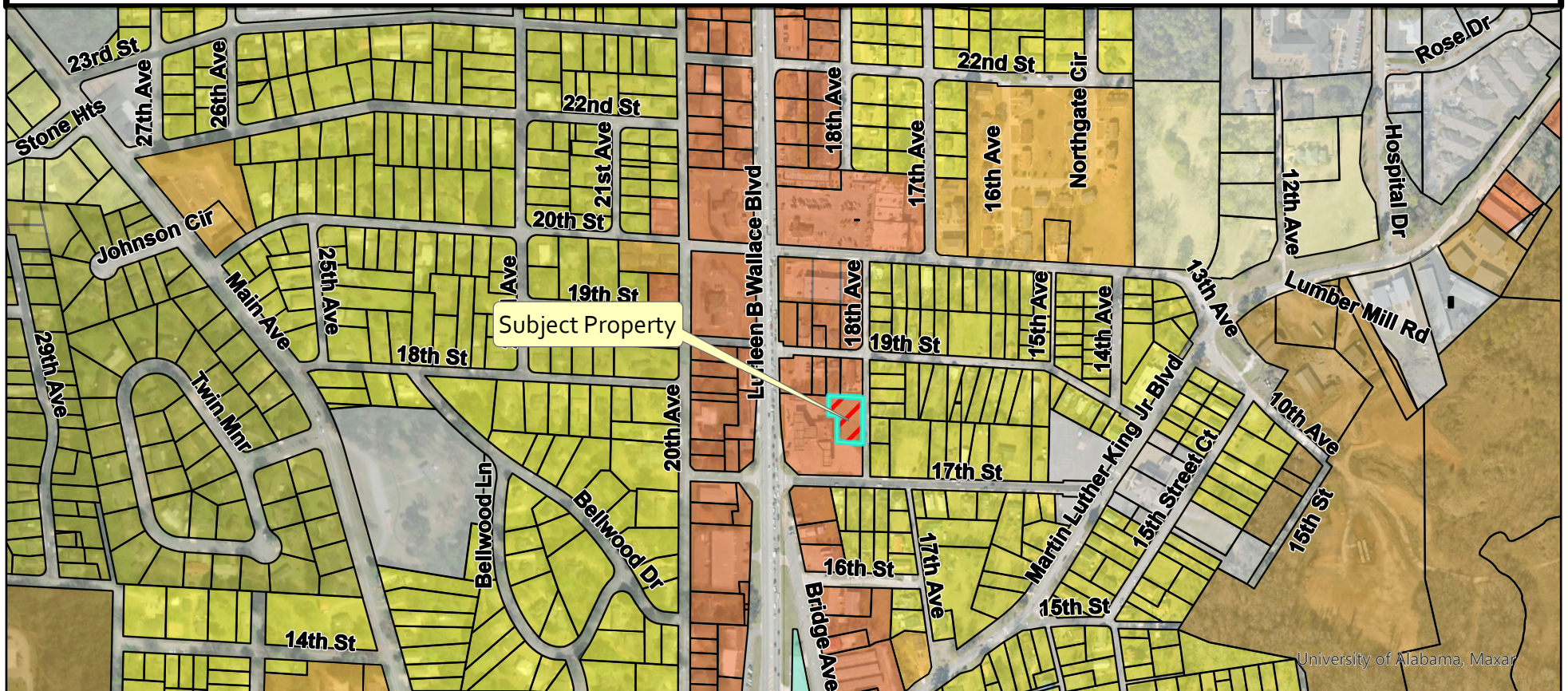
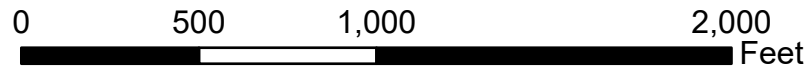
### Zoning

-  Neighborhood Commercial
-  General Commercial
-  Light Industrial
-  Office and Institutional
-  Residential Multi-Family
-  Special District

-  Residential Single-Family - 1
-  Residential Single-Family - 2
-  Residential Single-Family - 3
-  Residential Single-Family - 4
-  Suburban Mixed-Use
-  Parcels
-  Subject Property



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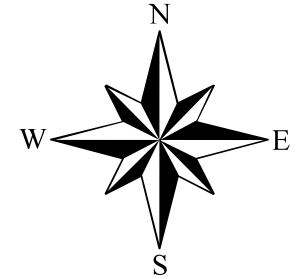
# City of Northport Planning Commission

## Preliminary Plat

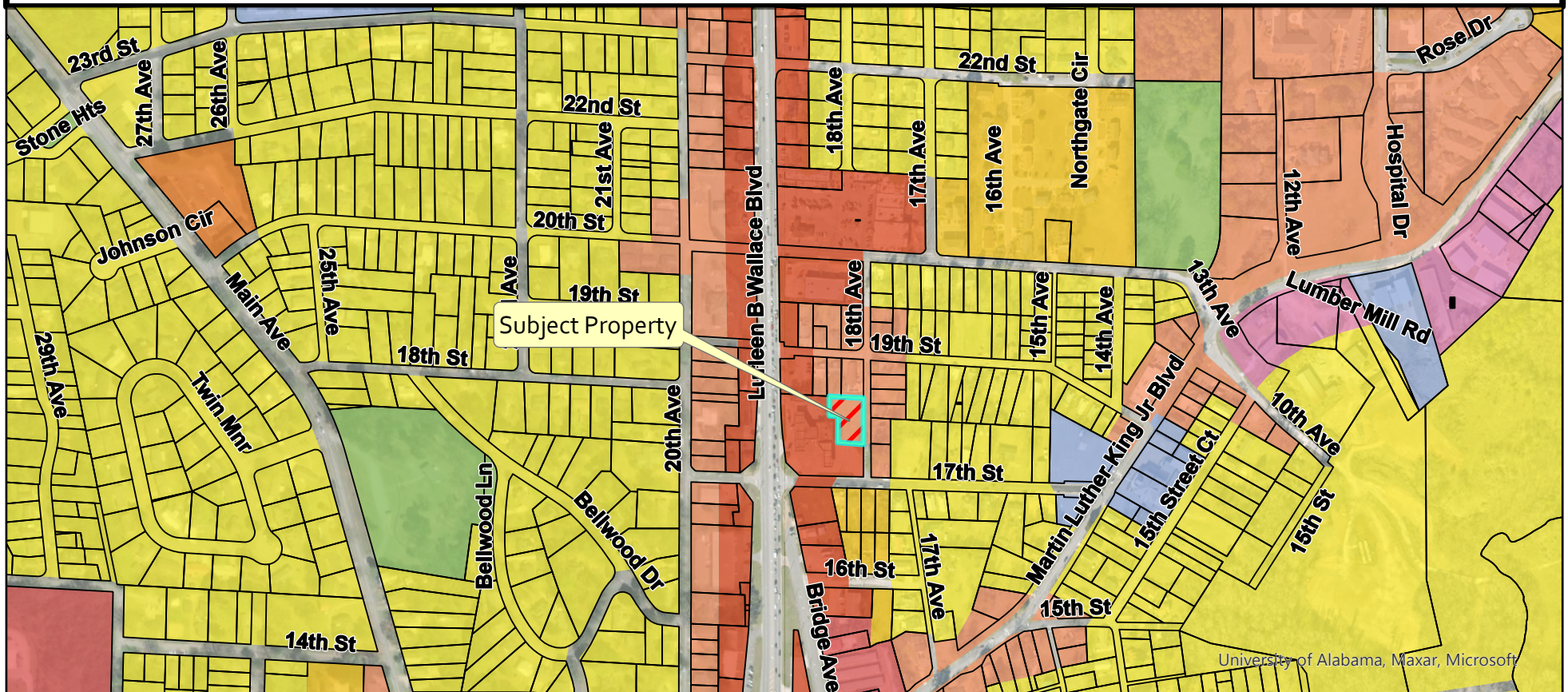
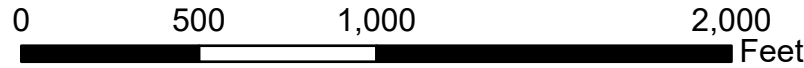
### Future Land Use

- Conservation
- Commercial Mix
- General Mixed-Use
- Limited Mixed-Use
- Multifamily Residential
- High Density Residential

- Medium Density Residential
- Office-Trades Mix
- Institutional
- Parcels
- Subject Property



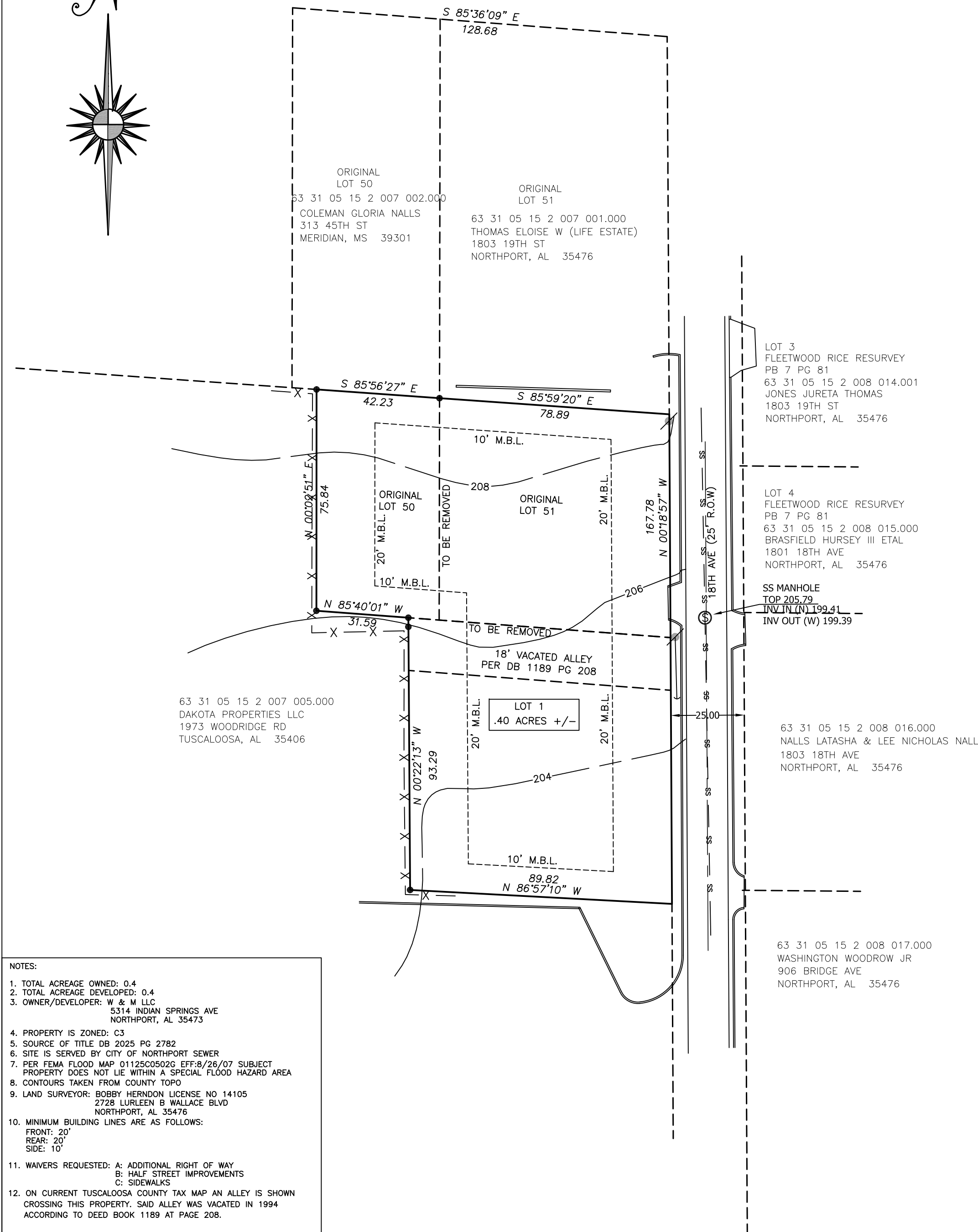
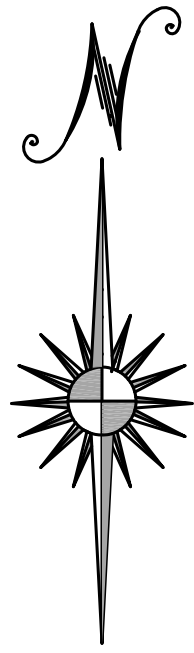
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University of Alabama, Maxar, Microsoft

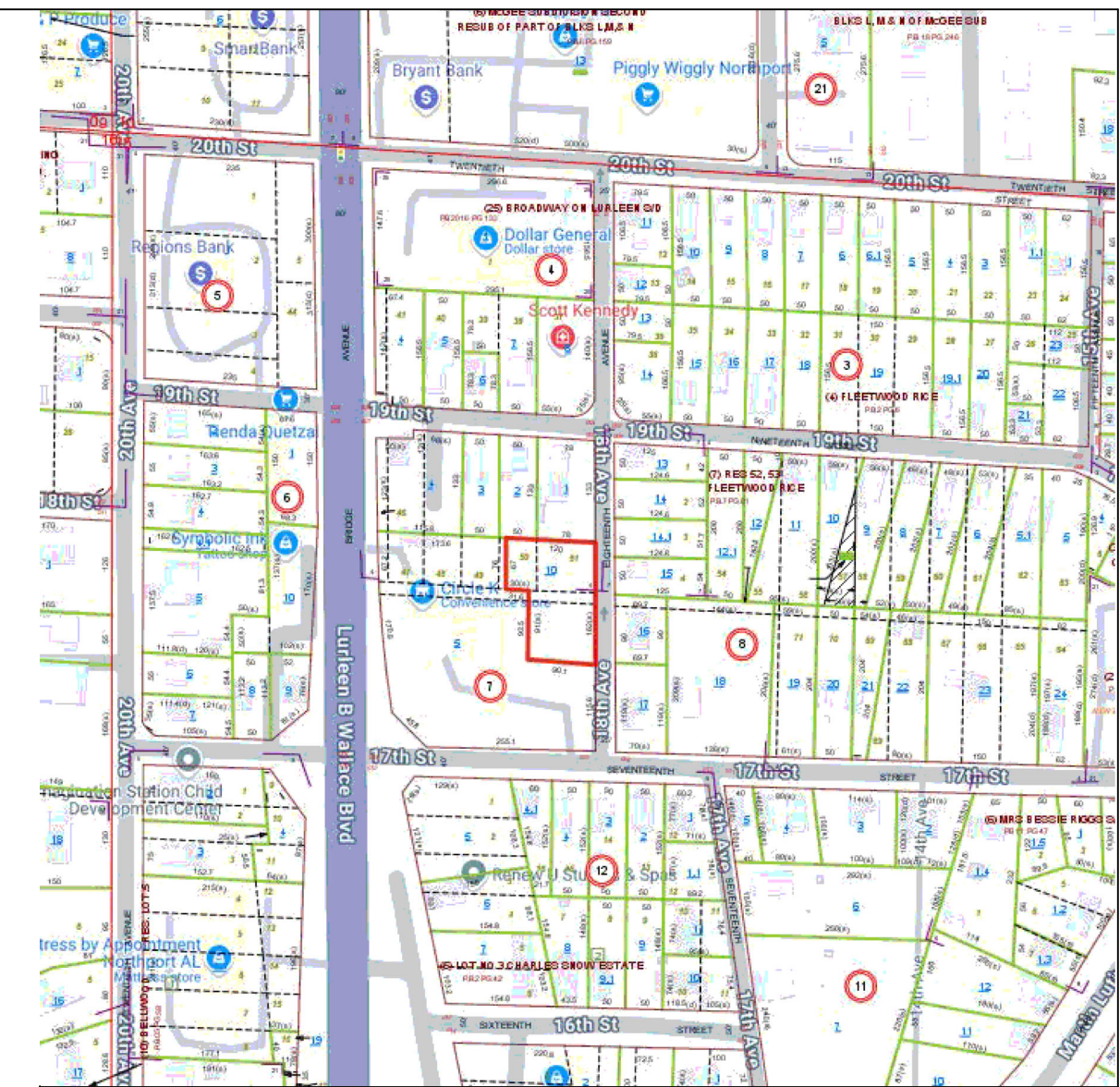
Subject property as seen from 18<sup>th</sup> Ave looking southwest.



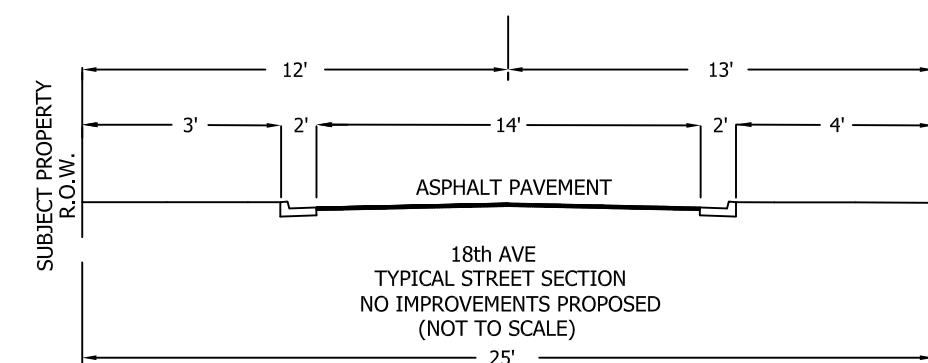


**LEGEND**

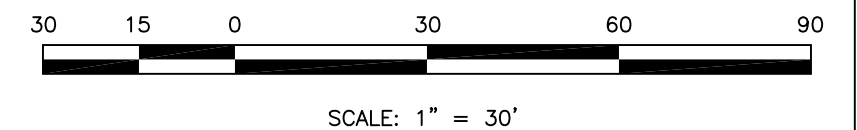
- IRON FOUND
- 1/2" CAPPED REBAR SET-CA#0065
- CONCRETE MONUMENT FOUND
- △ CALCULATED POINT-NOT MONUMENTED
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- ( ) RECORD DIMENSION
- R.O.W. RIGHT-OF-WAY
- X- FENCE LINE
- M.B.L. MINIMUM BUILDING LINE
- ⚡ UTILITY POLE W/ GUY WIRE
- ⚡ UTILITY POLE
- ⚡ POWER LINE
- ⚡ WATER METER
- CONCRETE SURFACE



VICINITY MAP - NOT TO SCALE



- NOTES:**
1. TOTAL ACREAGE OWNED: 0.4
  2. TOTAL ACREAGE DEVELOPED: 0.4
  3. OWNER/DEVELOPER: W & M LLC  
5314 INDIAN SPRINGS AVE  
NORTHPORT, AL 35473
  4. PROPERTY IS ZONED: C3
  5. SOURCE OF TITLE DB 2025 PG 2782
  6. SITE IS SERVED BY CITY OF NORTHPORT SEWER
  7. PER FEMA FLOOD MAP 01125005026 EFF:8/28/07 SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA
  8. CONTOURS TAKEN FROM COUNTY TOPO
  9. LAND SURVEYOR: BOBBY HERNDON LICENSE NO 14105  
2728 LURLEEN B WALLACE BLVD  
NORTHPORT, AL 35476
  10. MINIMUM BUILDING LINES ARE AS FOLLOWS:  
FRONT: 20'  
REAR: 20'  
SIDE: 10'
  11. WAIVERS REQUESTED: A: ADDITIONAL RIGHT OF WAY  
B: HALF STREET IMPROVEMENTS  
C: SIDEWALKS
  12. ON CURRENT TUSCALOOSA COUNTY TAX MAP AN ALLEY IS SHOWN CROSSING THIS PROPERTY. SAID ALLEY WAS VACATED IN 1994 ACCORDING TO DEED BOOK 1189 AT PAGE 208.



**HERNDON, HICKS & ASSOCIATES, INC.**

Professional Land Surveyors

2728 Lurleen Wallace Blvd. (P.O. Box 508) - Northport, AL 35476  
Phone (205) 333-0003  
mike@hhasurveyors.com

**PRELIMINARY PLAT  
W & M SUBDIVISION  
BEING A RESURVEY OF LOTS 50 & 51 FLEETWOOD RICE SUBDIVISION (PB 2, PG 6)  
AND UNPLATTED LAND**

PART OF THE NW 1/4 OF SECTION 15 - TOWNSHIP 21 SOUTH - RANGE 10 WEST  
TUSCALOOSA COUNTY, ALABAMA

Source	DB 2025 PG 2782	Job No.	2503-015
Field Work	4/2025	Date	6/23/2025
Survey Type	SUBDIVISION	Scale	1"=30'
ACAD File	2503-015 PSD.dwg	Drawn By	JRH
COGO File	2503-015.txt	Approved By	DRH
		Surveyed by	KN

**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** S-25-15 Boozer Subdivision & R-25-8 boozer Subdivision

**Applicant:** Herndon, Hicks and Associates

**Location:** 4105 Flatwoods Road

**Request:** Preliminary Plat

Herndon, Hicks and Associates is requesting preliminary plat approval for approximately 21.63 acres located at 4105 Flatwoods Road. The property is currently contained within one lot. The proposed plat would subdivide the site into two lots. The applicant is also requesting rezoning of this property from Agricultural (AG) to Residential Single-Family (RS-1). Table 4-1 of the zoning ordinance details the uses allowed within the RS-1 zone, while table 6-1 lists the uses allowed within the AG zone. Both of these tables are included at the end of this report.

The following waivers are requested with this plat.

- **Right-of-way Dedication** - A waiver has been requested for ROW dedication on Flatwoods Rd. The existing ROW is 80', which meets the requirements for a street classified as a collector. This waiver is not needed.
- **Half-Street Improvements** - The subdivision regulations require all public right-of-way to have curb and gutter. A waiver has been requested for half-street improvements on Flatwoods Rd. The existing road width is adequate. Curb and gutter would be required by the regulations, but there is none on Flatwoods Rd. in this area.
- **Sidewalks** - The subdivision regulations require that sidewalks be constructed along all right-of-way frontages. A waiver has been requested a waiver for sidewalk construction on Flatwoods Rd. The City's Comprehensive Plan shows this portion of Flatwoods Rd. as a "bike and/or pedestrian connection". There is no public infrastructure proposed as part of this two lot division, so the Commission will need to consider whether requiring the construction of sidewalk is a reasonable expectation in proportion to the subdivision being requested. The bridge over Mill Creek and the associated guardrail would also impact the feasibility of sidewalk construction for part of the adjacent street frontage. The commission would have the option to either 1) require the sidewalks, 2) waive the sidewalk requirement completely, or 3) waive sidewalk construction and require a payment into the sidewalk bank.

The current property consists of a single-family residence zoned Agricultural (AG). It is surrounded to the north across Flatwoods Road by undeveloped property zoned Residential Single-Family (RS-1); to the east by single-family residences, some of which are unincorporated (no zoning) while the rest are zoned Residential Single-Family (RS-1); to the south by undeveloped property, some of which is unincorporated (no zoning) while the rest is zoned Residential Single-Family (RS-1); and to the west by an unincorporated single-family residence (no zoning).

The future land use plan contained within Northport Compass depicts this property as “High Density Residential”. The request is not in conflict with the comprehensive plan.

Any action on the subdivision item will require 6 affirmative votes. Should this agenda item fail, the reasons for any non-affirmative votes must be stated on the record. Any approval of this plat should be contingent upon rezoning being approved by City Council.

Any action on the rezoning will be a recommendation to City Council.

Table 4-1 showing uses allowed within Residential zoning districts:

	RS-1	RS-2	RS-3	RM
<b>Residential Uses</b>				
Assisted and independent living facilities				C
Boarding house				C
Cottage development, subject to <a href="#">§7.10</a>				P
Duplex, subject to <a href="#">§7.12</a>				P
Manufactured home subdivision				C
Manufactured home park, subject to <a href="#">§7.28</a>				C
Multifamily dwellings, subject to <a href="#">§7.31</a>				P
Single-family dwelling, detached	P	P	P	P
Single-family dwelling, Zero Lot Line, subject to <a href="#">§7.49</a>				P
Townhouse, subject to <a href="#">§7.45</a>				P
Twin houses, subject to <a href="#">§7.46</a>				P
<b>Nonresidential Uses</b>				
Amateur radio tower, subject to <a href="#">§3.04.04.F</a>	P	P	P	
Bed and breakfast, subject to <a href="#">§7.05</a>	C	C	C	
Cemetery, accessory to place of worship	C	C	C	C
Cemetery, as a principal use				C
Community center	C	C	C	P
Country club	C	C	C	C
Day care and Nighttime care centers	C	C	C	C
Extended care facility				C
Family day care and Nighttime homes, subject to <a href="#">§7.14</a>	P	P	P	P
Family care home, subject to <a href="#">§7.19</a>				P
Golf course	P	P	P	P
Group day care home, subject to <a href="#">§7.14</a>	C	C	C	C
Group homes, other than Family Care Homes, subject to <a href="#">§7.19</a>				C
Home occupation, subject to <a href="#">§7.21</a>	P	P	P	P
Park, playground, nature preserve	P	P	P	P
Parking, freestanding	C	C	C	C
Place of worship, subject to <a href="#">§7.34</a>	C	C	C	P
Public facility	P	P	P	P
Public utility facility, major	C	C	C	C
Public utility facility, minor	P	P	P	P
Recreational facilities, accessory (swimming pools, tennis courts)	P	P	P	P
Schools, private	C	C	C	C
Short-term rental, subject to <a href="#">§7.40</a>	P	P	P	P

P – The use is permitted by right  
 C – The use requires Conditional Use approval, see [§12.05](#)

A blank cell indicates the use is prohibited.

**Table 6-1 showing uses allowed with the Agricultural zoning district:**

**Table 6-1: Permitted Uses, AG District**

P: The use is permitted by right			
C: The use requires Conditional Use approval, see <a href="#">§12.05</a>			
<b>Agricultural and Agricultural Support Uses</b>		<b>Commercial Uses</b>	
Agricultural and farming	P	Artisanal Manufacturing	C
Farm equipment sales and repair	C	Bed and Breakfast, subject to <a href="#">§7.05</a>	C
Farm produce sales	P	Greenhouse	P
Farm produce supply	P	Kennel	C
Farm product processing (dairies, cider mills)	C	Nursery, Wholesale	C
Forestry	P	Veterinary Office without outdoor pens	P
<b>Residential Uses</b>		Veterinary Office with outdoor pens	C
Single-family dwellings, detached	P	<b>Recreation and Entertainment Uses</b>	
<b>Institutional Uses and Utilities</b>		Campground	C
Cemetery	P	Fairground, subject to <a href="#">§7.25</a>	C
Place of Worship, subject to <a href="#">§7.34</a>	P	Golf course and driving ranges	C
Public Facility	C	Park	P
Public utility facility, Major	C	Recreational vehicle park, subject to <a href="#">§7.35</a>	C
Public utility facility, Minor	P	<b>Industrial Uses</b>	
Telecommunication Tower, subject to <a href="#">§7.06</a>	P	Resource extraction, subject to <a href="#">§7.29</a>	C
Utility service yard or garage	C		

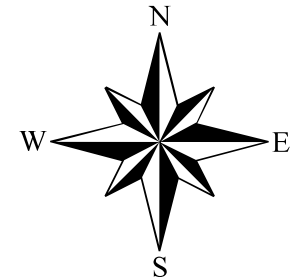
# City of Northport Planning Commission

## Preliminary Plat

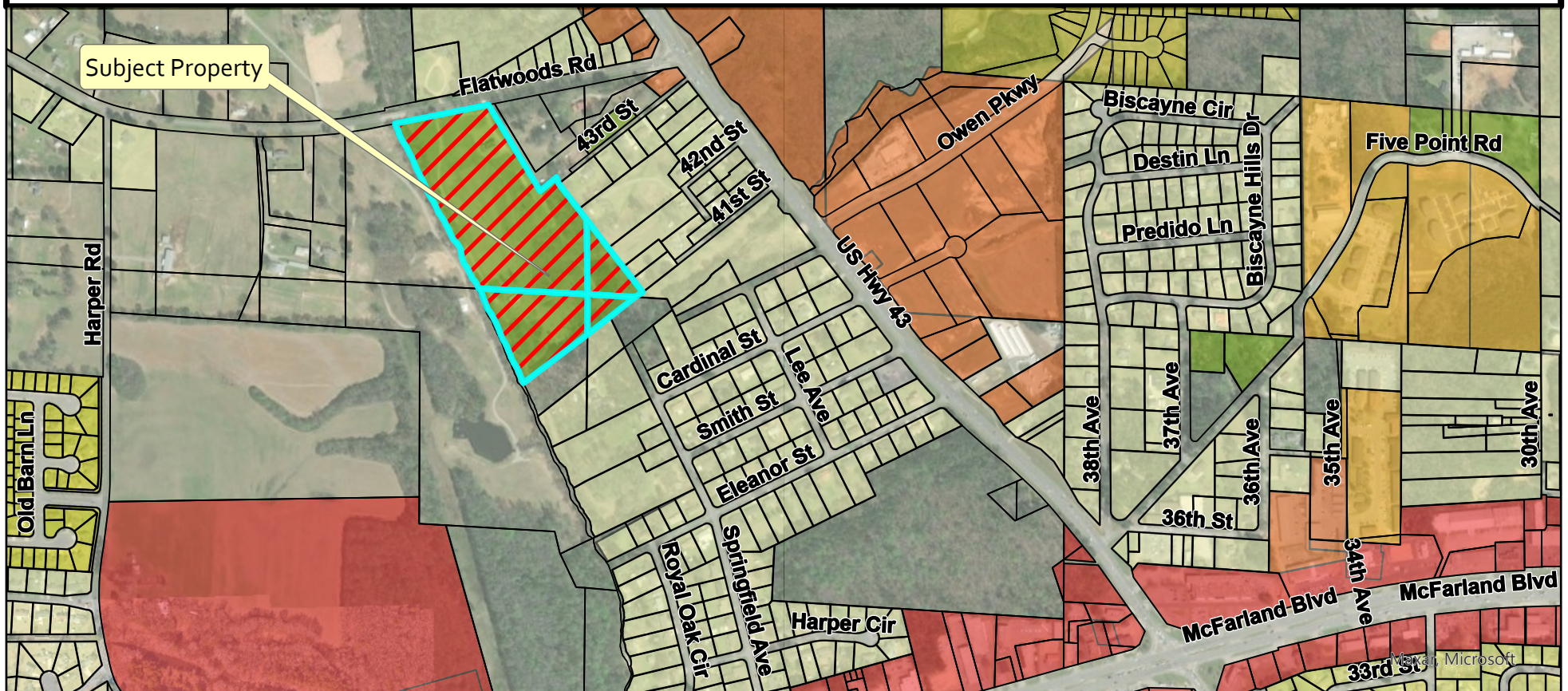
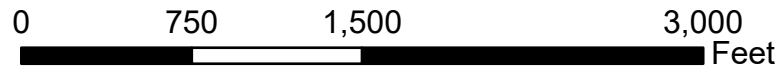
### Zoning

- Agriculture
- General Commercial
- Commercial Highway
- Office and Institutional
- Residential Multi-Family
- Special District

- Residential Single-Family - 1  Parcels
- Residential Single-Family - 2  Parcels selection
- Residential Single-Family - 4



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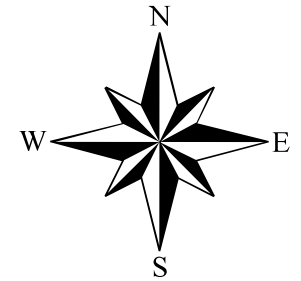
# City of Northport Planning Commission

## Preliminary Plat

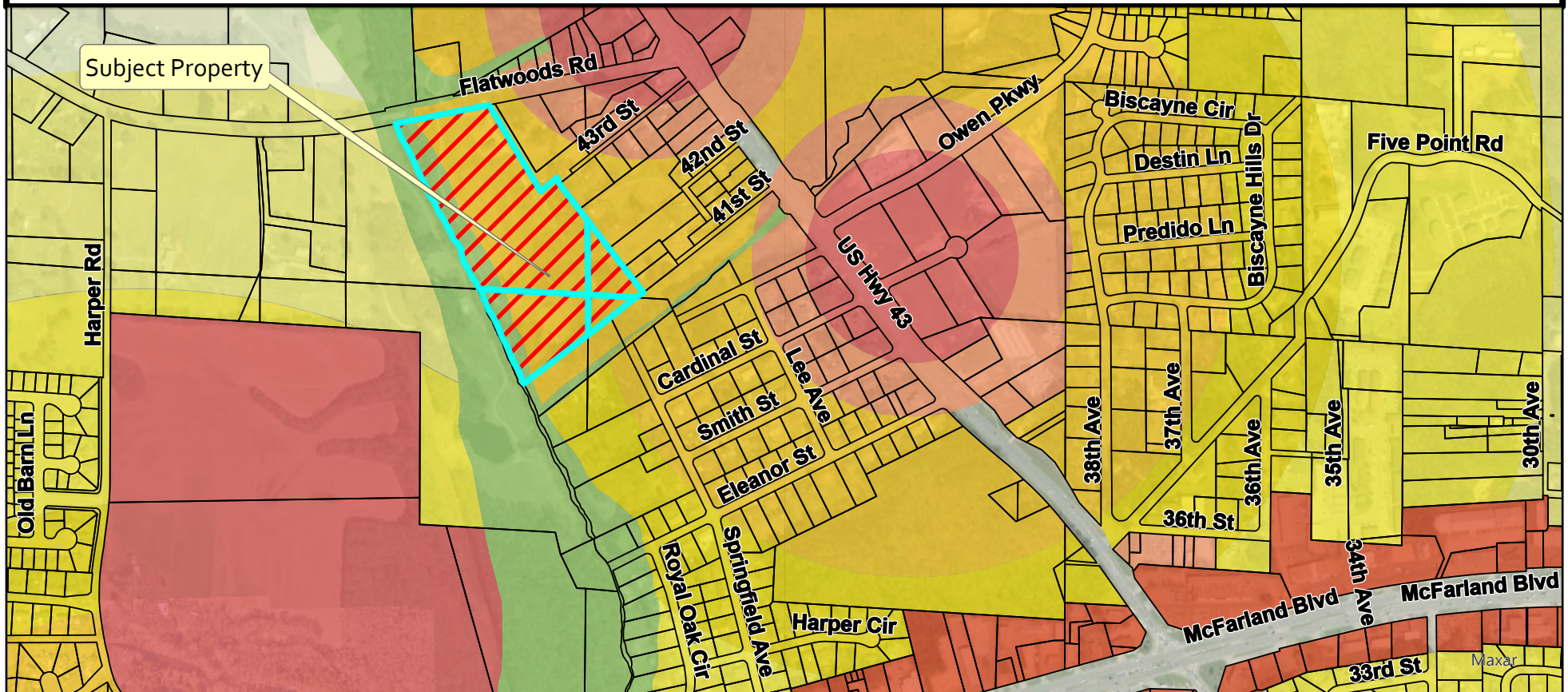
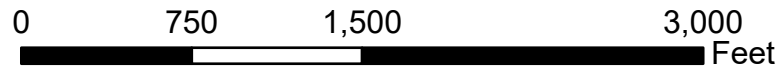
### Future Land Use

- Conservation Floodway
- Commercial Mix
- General Mixed-Use
- Limited Mixed-Use
- High Density Residential
- High to Medium Density Transition
- Medium Density Residential
- Medium to Low Density Transition

- Low Density Residential
- Utilities
- Parcels
- Parcels selection

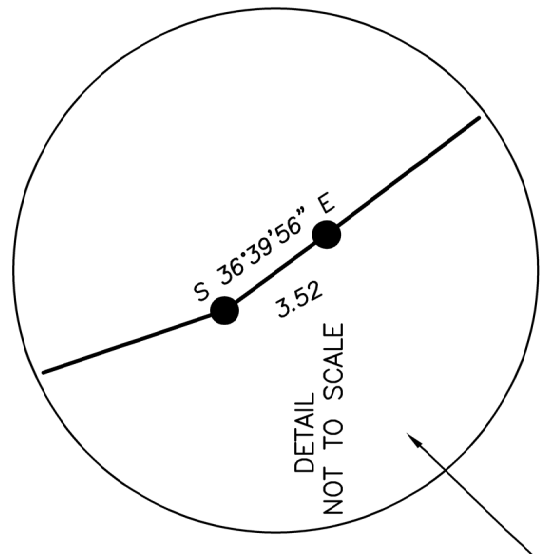
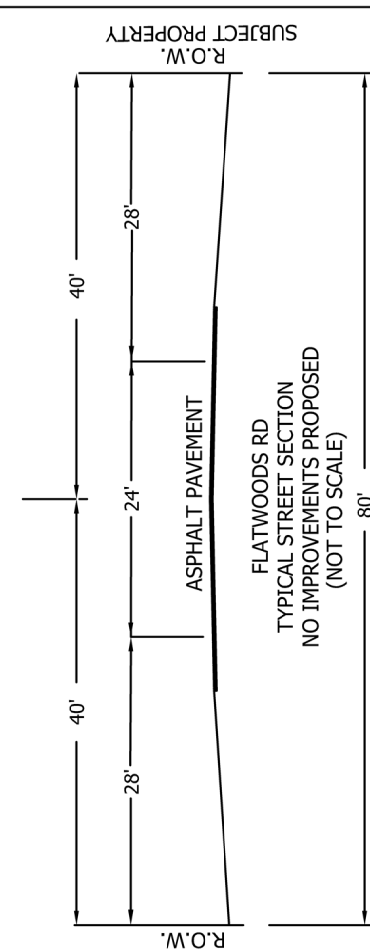


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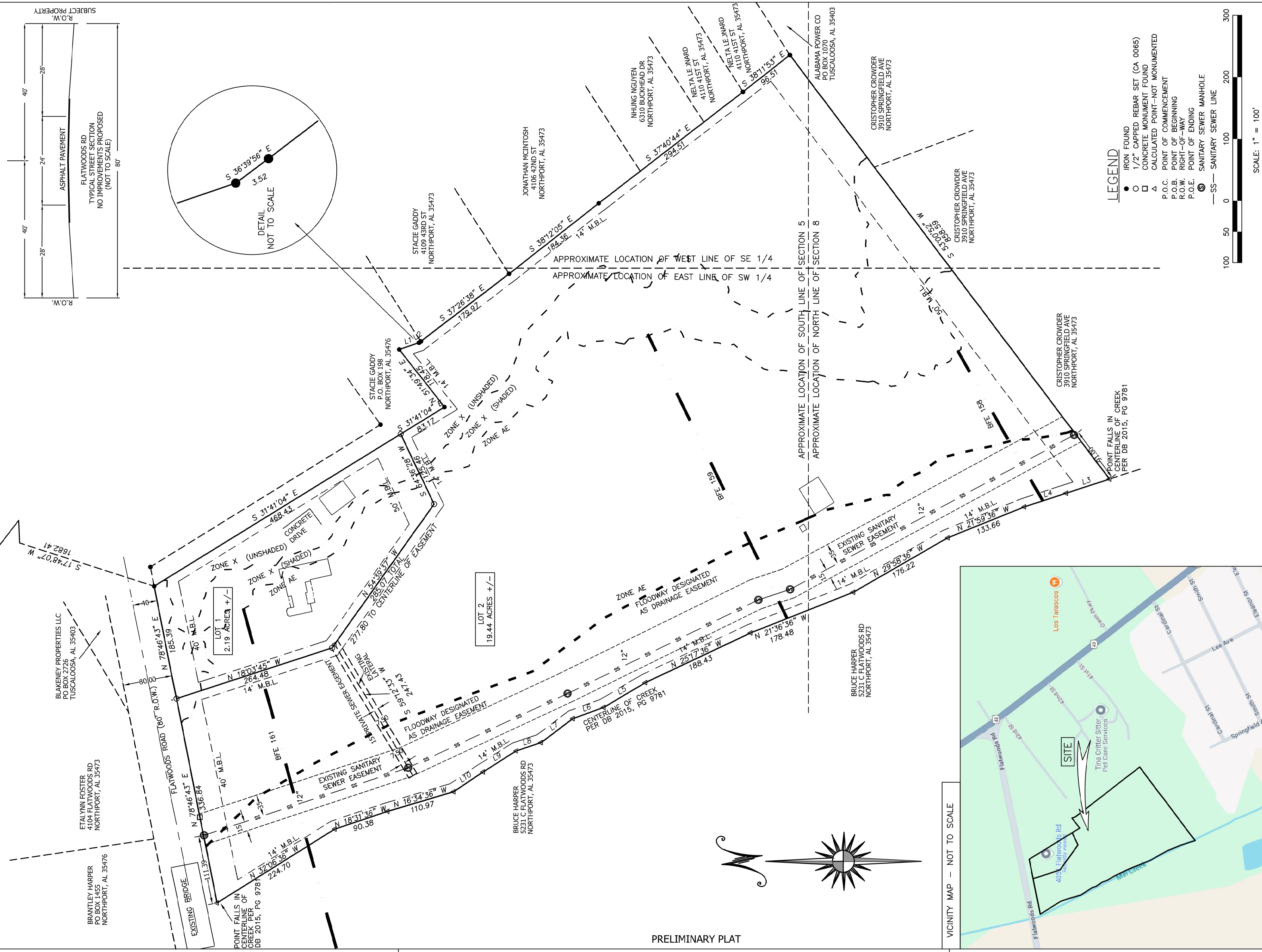


- NOTES:
- TOTAL ACRES OWNED: 21.63
  - TOTAL ACRES DEVELOPED: 21.63
  - OWNER/DEVELOPER: LEE & BELINDA BOOZER  
4104 FLATWOODS RD  
NORTHPORT, AL 35473
  - PROPERTY IS ZONED: AG, ASKING FOR RST ZONING IN THIS PROCESS
  - SPACES BETWEEN LINES ARE 12" UNLESS OTHERWISE NOTED
  - SITE IS SERVED BY CITY OF NORTHPORT SEWER
  - PER FEMA FLOOD MAP 011250501G EFF1/16/2014 PART OF SUBJECT PROPERTY LIES WITHIN THE REGULATORY FLOODWAY.
  - CONTOURS TAKEN FROM COUNTY TOPO
  - LAND SURVEYOR: BOBBY HERNDON LICENSE NO. 14105  
2728 LURLEEN WALLACE BLVD  
NORTHPORT, AL 35476
  - MINIMUM BUILDING LINES ARE AS FOLLOWS:  
FRONT: 40'  
REAR: 50'  
SIDE: 14'
  - WAIVERS REQUESTED: A: ADDITIONAL RIGHT OF WAY  
B: HALF STREET IMPROVEMENTS  
C: SIDEWALKS
  - FLOODWAY AREA IS DESIGNATED AS A DRAINAGE EASEMENT

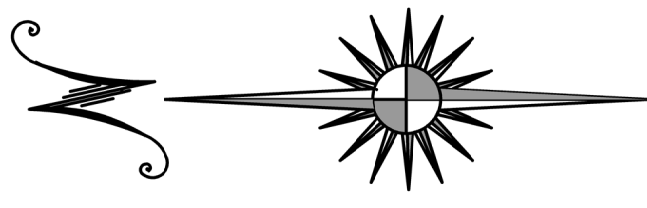
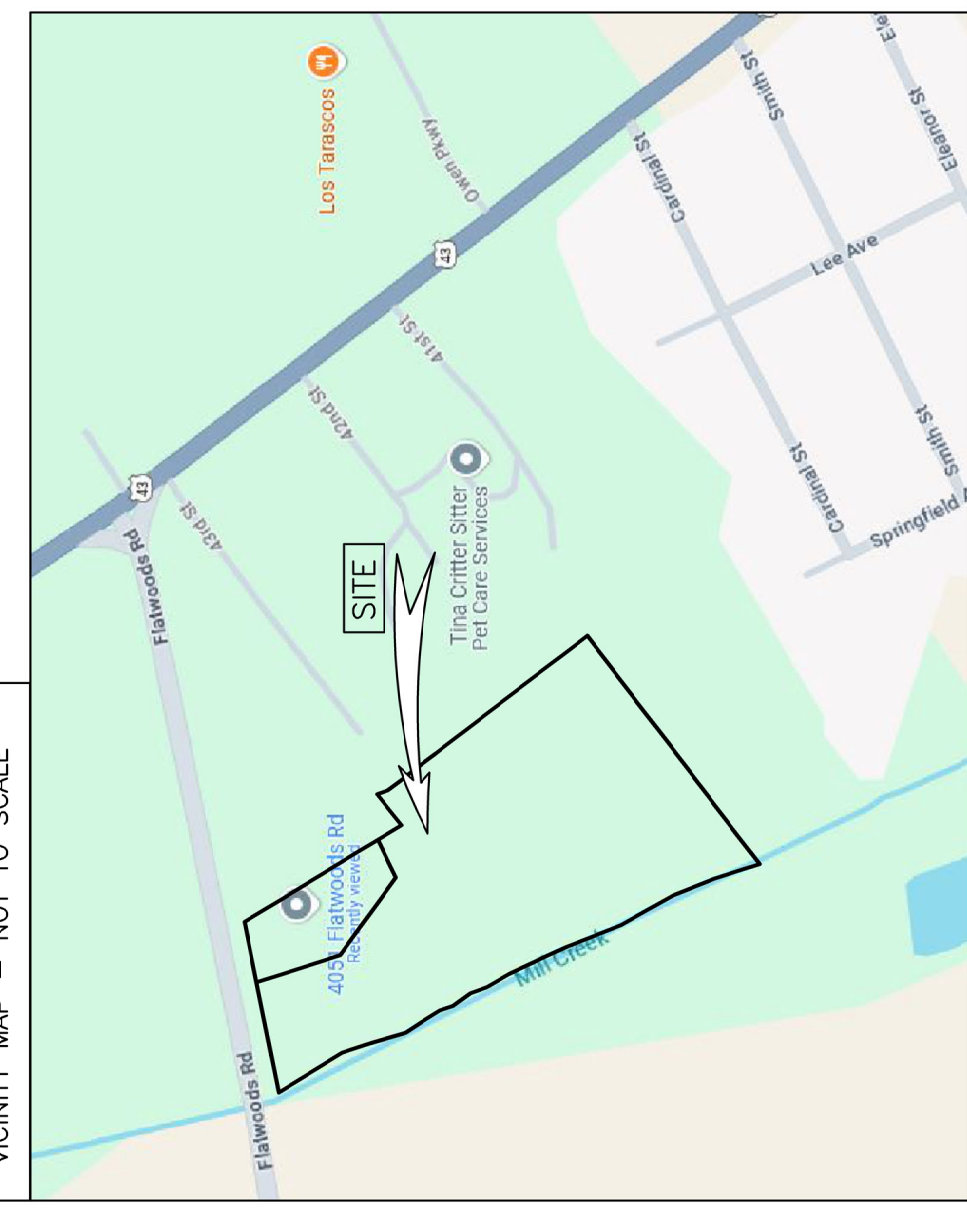
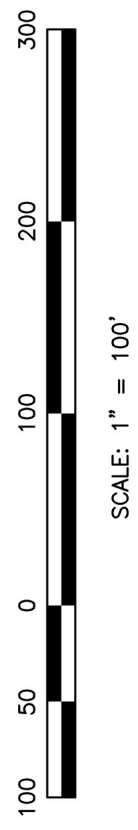


NORTHWEST CORNER  
NW 1/4 OF THE SE 1/4  
SEC. 5, T21S, R10W  
TUSCALOOSA COUNTY, AL

LINE NO.	BEARING	DISTANCE
L1	S 18°55'09\"/>	



- LEGEND
- IRON FOUND
  - 1/2" CAPPED REBAR SET (CA 0065)
  - CONCRETE MONUMENT FOUND
  - △ CALCULATED POINT—NOT MONUMENTED
  - P.O.C. POINT OF COMMENCEMENT
  - P.O.B. POINT OF BEGINNING
  - R.O.W. RIGHT-OF-WAY
  - P.O.E. POINT OF ENDING
  - SS— SANITARY SEWER MANHOLE
  - SS— SANITARY SEWER LINE

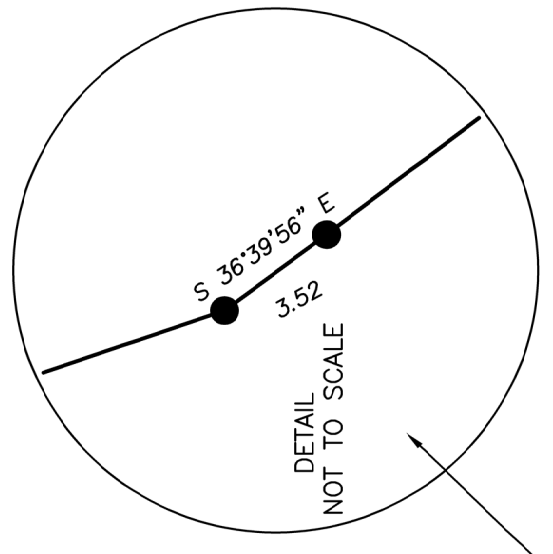
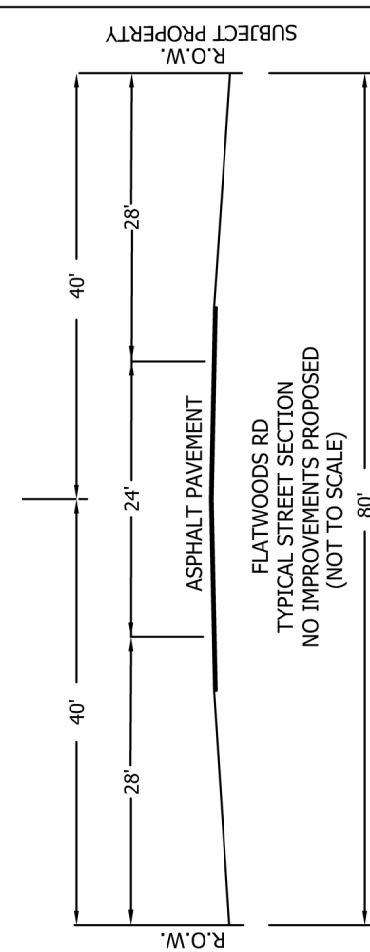


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Professional Land Surveyors  
2728 Lurleen Wallace Blvd. (P.O. Box 508) - Northport, AL 35476  
Phone (205) 333-0003  
mike@hhasurveyors.com

PRELIMINARY PLAT  
BOOZER SUBDIVISION  
PART OF THE SOUTH 1/2 OF SECTION 5 AND THE NORTH 1/2 OF SECTION 8  
TOWNSHIP 21 SOUTH - RANGE 10 WEST  
TUSCALOOSA COUNTY, ALABAMA

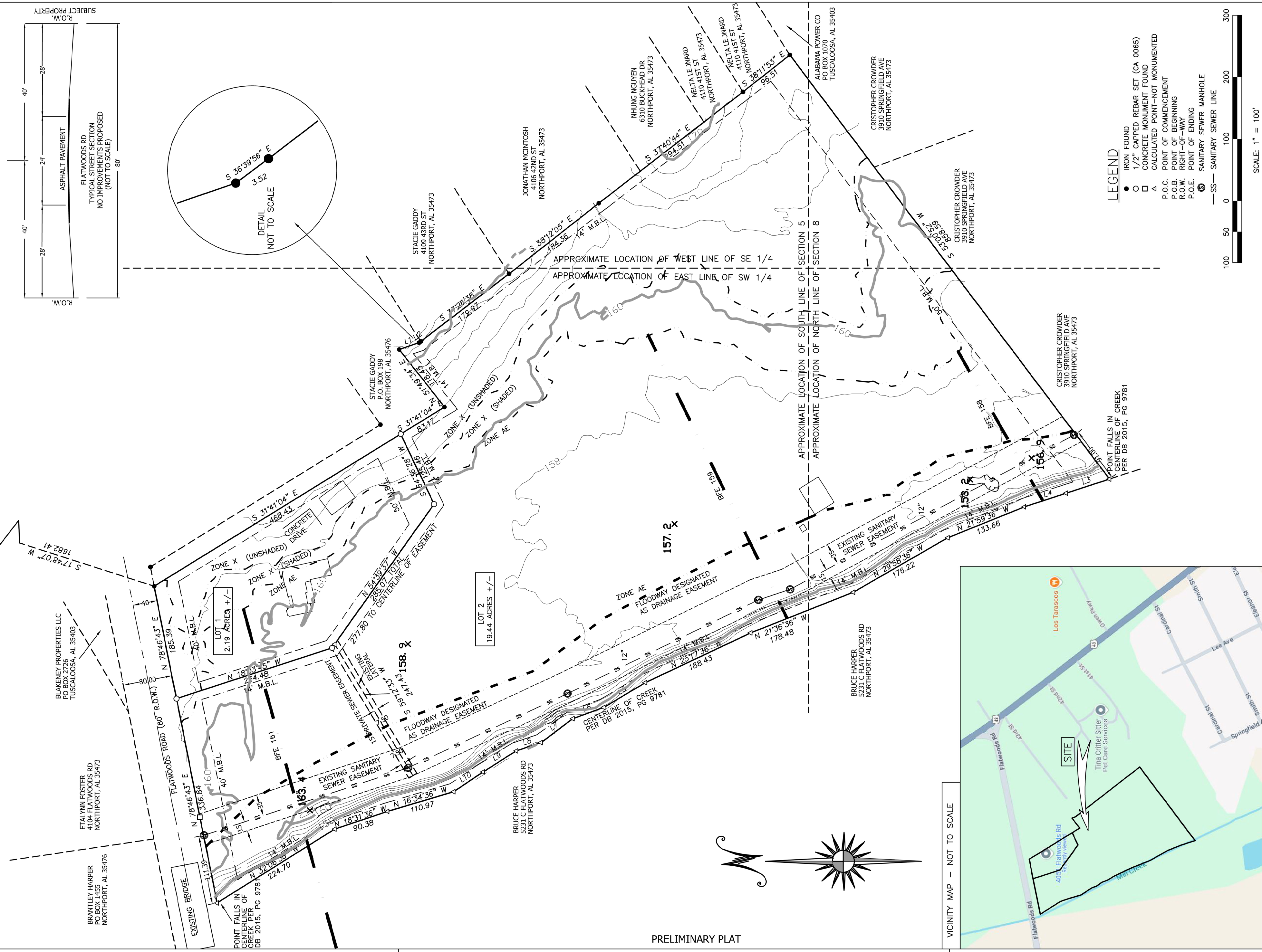
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Field Work	2/2025	Date	6/23/2025
Survey Type	BOUNDARY	Scale	1"=100'
ACAD File	2501-018.dwg	Drawn By	JRH
Coordinate File	2501-018.txt	Approved By	DRH
		Surveyed by	WJN

- NOTES:**
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  - TOTAL ACRES DEVELOPED: 21.63
  - OWNER/DEVELOPER: LEE & BELINDA BOOZER  
4104 FLATWOODS RD  
NORTHPORT, AL 35473
  - PROPERTY IS ZONED: AG, ASKING FOR RST ZONING IN THIS PROCESS
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REAR: 50'  
SIDE: 14'
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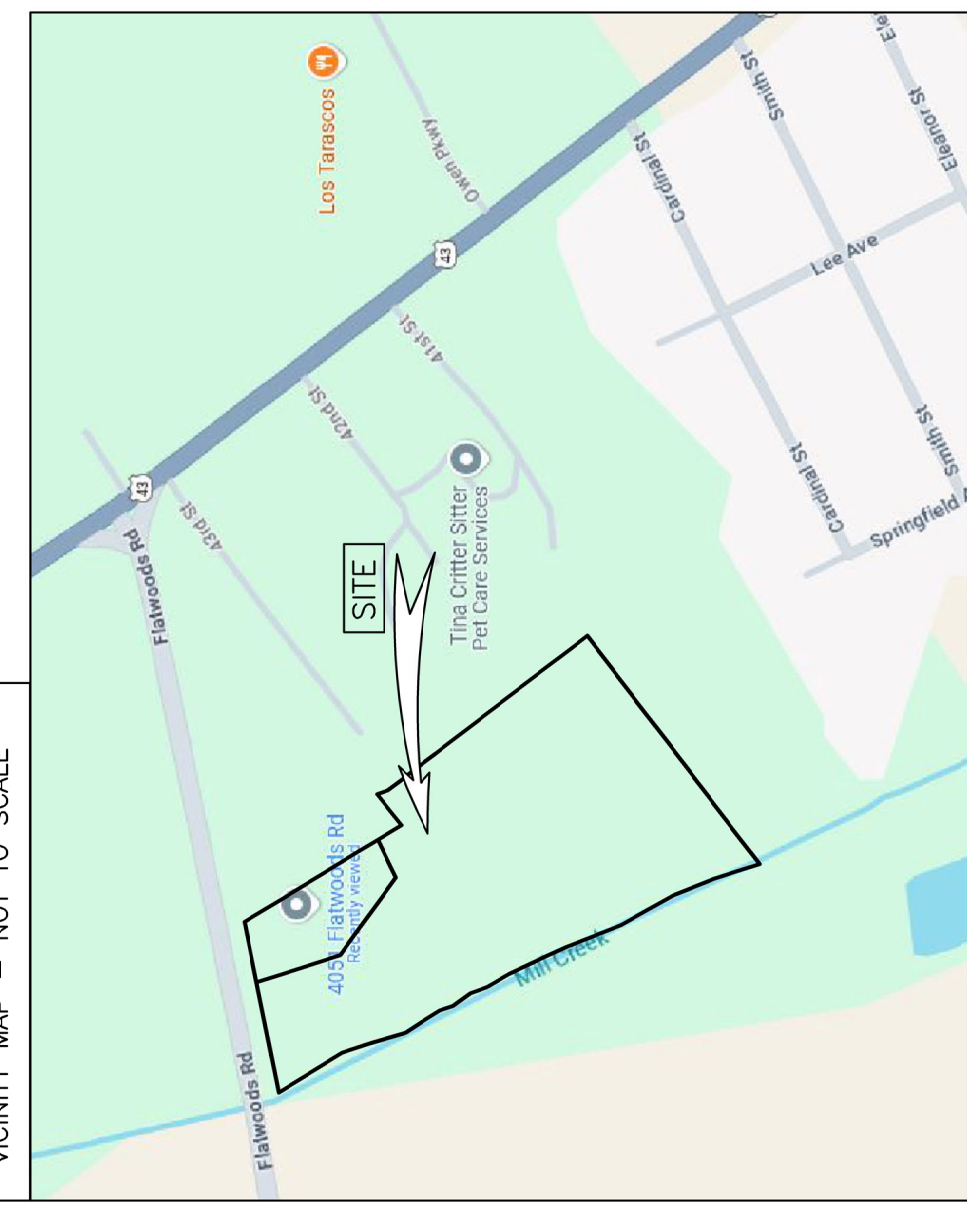
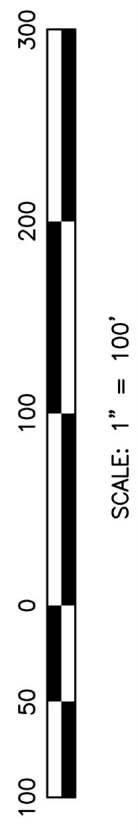


NORTHWEST CORNER  
NW 1/4 OF THE SE  
SEC. 5, T21S, R10W  
TUSCALOOSA COUNTY, AL

LINE NO.	BEARING	DISTANCE
L1	S 18°55'09\" E	33.86
L2	S 36°39'56\" E	3.52
L3	N 18°05'36\" W	73.27
L4	N 18°04'36\" W	71.26
L5	N 30°48'36\" W	78.22
L6	N 19°58'36\" W	53.04
L7	N 36°57'36\" W	64.39
L8	N 18°31'36\" W	42.44
L9	N 32°26'36\" W	63.41
L10	N 33°51'36\" W	57.51



- LEGEND**
- IRON FOUND
  - 1/2\" CAPPED REBAR SET (CA 0065)
  - CONCRETE MONUMENT FOUND
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  - P.O.C. POINT OF COMMENCEMENT
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PRELIMINARY PLAT  
BOOZER SUBDIVISION  
PART OF THE SOUTH 1/2 OF SECTION 5 AND THE NORTH 1/2 OF SECTION 8  
TOWNSHIP 21 SOUTH - RANGE 10 WEST  
TUSCALOOSA COUNTY, ALABAMA

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		Surveyed by	WJN

**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** S-25-16 82 West Subdivision  
**Applicant:** Herndon, Hicks and Associates  
**Location:** 5105 McFarland Boulevard  
**Request:** Preliminary Plat

Herndon, Hicks and Associates is requesting preliminary plat approval for approximately 8.7 acres located at 5105 McFarland Boulevard. The property is currently contained within one lot. The proposed plat would subdivide the site into 4 lots.

The following waivers are requested with this plat:

- Access – The subdivision regulations require that all lots have access to a publicly maintained street. A waiver has been requested for public street access for lot 4. The Commission could consider a condition that a maintenance agreement must be submitted and approved by the City Attorney prior to final plat. If lot 4 is developed for a use other than single-family detached residential, access by easement will require a special exception from the Zoning Board of Adjustment prior to issuance of any permits.

The current property consists of a vacant lot that is zoned Highway Commercial (C-6). It is surrounded to the north across Highway 82 by a vacant lot zoned Highway Commercial (C-6), to the east by a fast food restaurant and a heavy equipment rental business zoned Highway Commercial (C-6), to the south by a mobile home park zoned Mobile Home Park (MHP), and to the west by a mobile home park zoned Mobile Home Park (MHP) and a retail business zoned Highway Commercial (C-6).

The future land use plan contained within Northport Compass depicts this property as “Commercial Mix” and “Limited Mixed-Use”. The request is not in conflict with the comprehensive plan.







Any action on this item will require 6 affirmative votes. Should this agenda item fail, the reasons for any non-affirmative votes must be stated on the record.

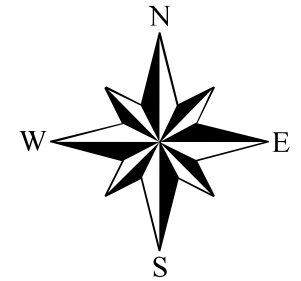
# City of Northport Planning Commission

## Preliminary Plat

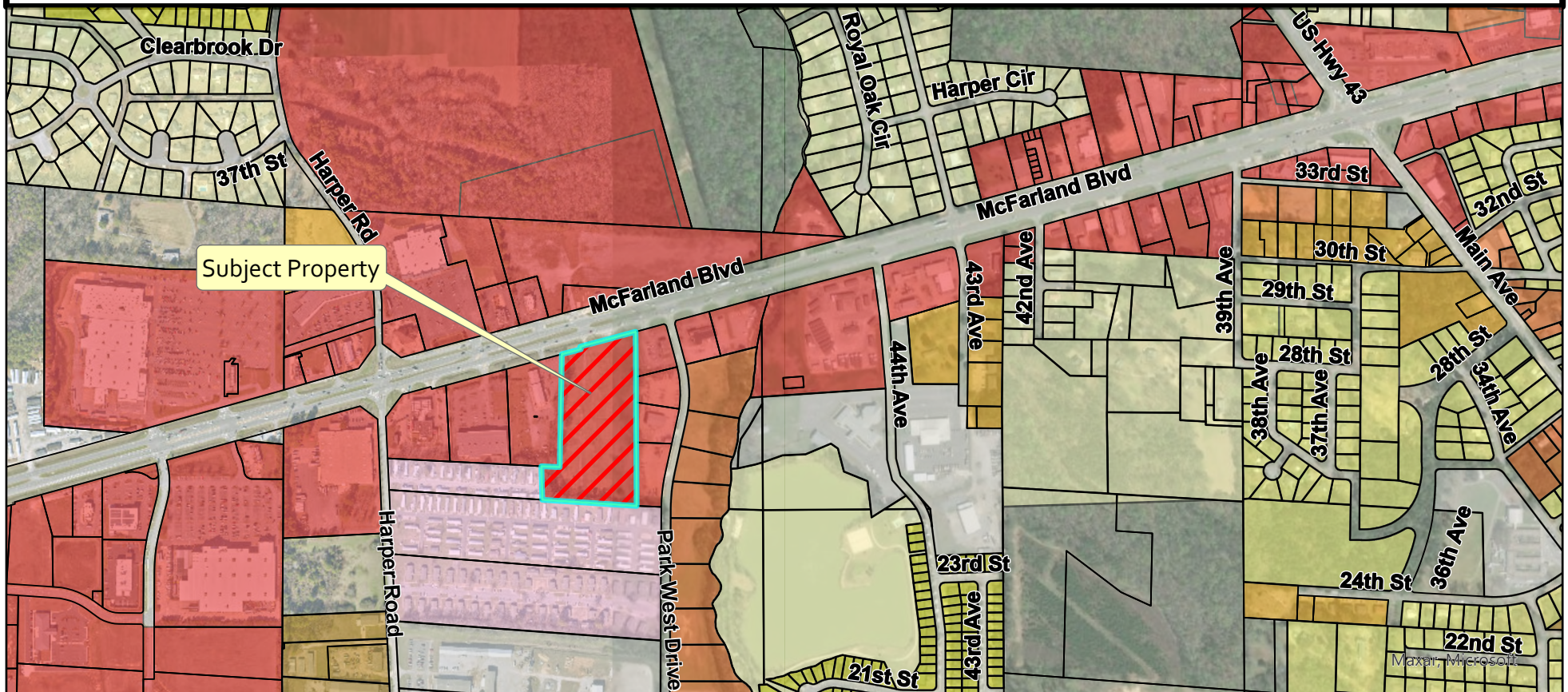
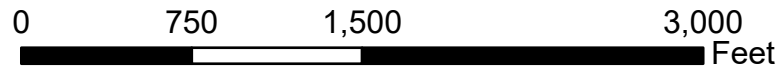
### Zoning

-  Neighborhood Commercial
-  General Commercial
-  Commercial Highway
-  Light Industrial
-  Mobile Home Park
-  Office and Institutional

-  Residential Multi-Family
-  Residential Single-Family - 1
-  Residential Single-Family - 2
-  Residential Single-Family - 4
-  Parcels
-  Subject Property



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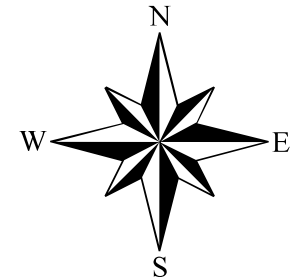
# City of Northport Planning Commission

## Preliminary Plat

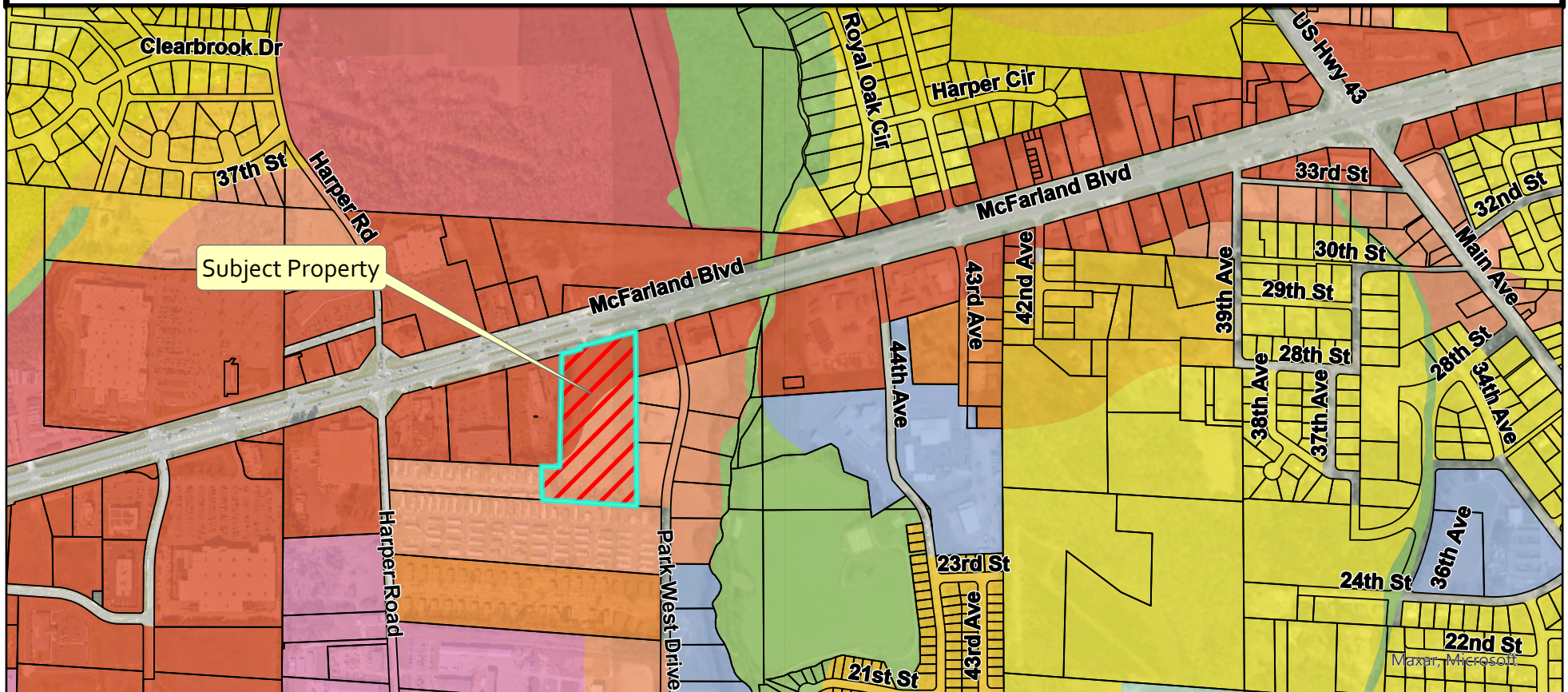
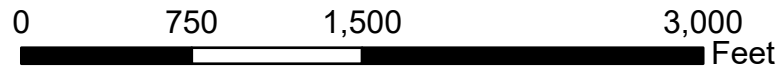
### Future Land Use

- Conservation
- Conservation Floodway
- Conservation Development
- Commercial Mix
- General Mixed-Use
- Limited Mixed-Use
- Multifamily Residential

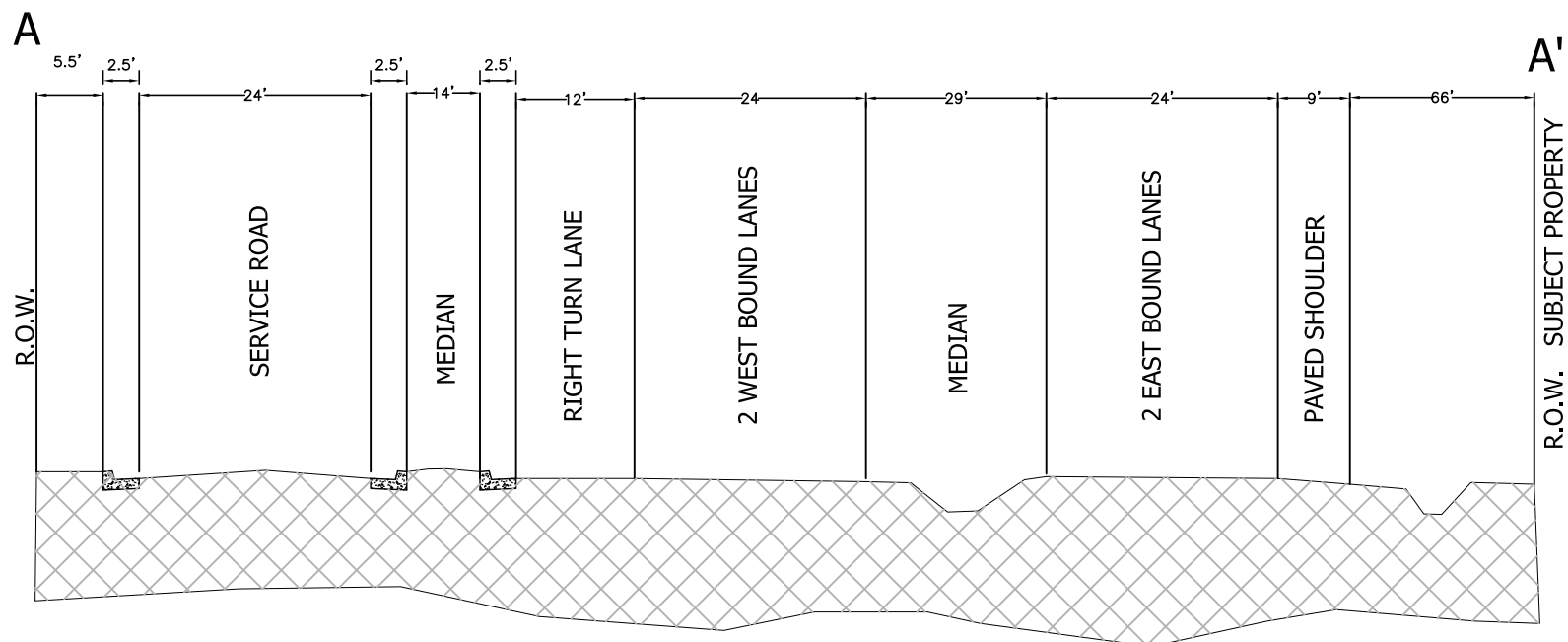
- High Density Residential
- High to Medium Density Transition
- Medium Density Residential
- Office-Trades Mix
- Institutional
- Utilities
- Parcels
- Subject Property



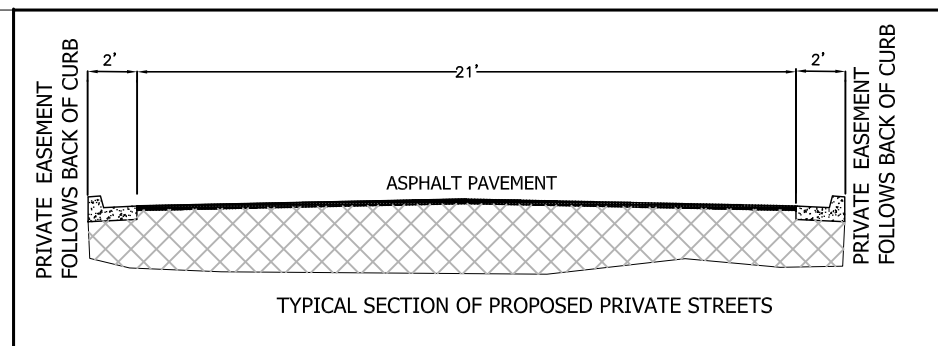
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Subject property as seen  
from McFarland Blvd  
looking west.



TYPICAL SECTION - McFARLAND BLVD.

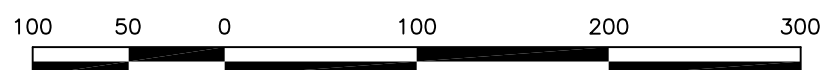
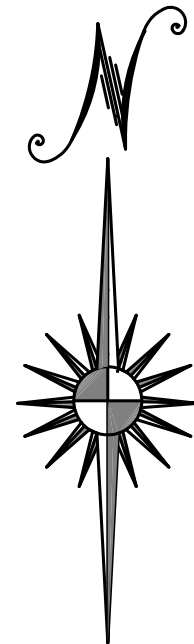
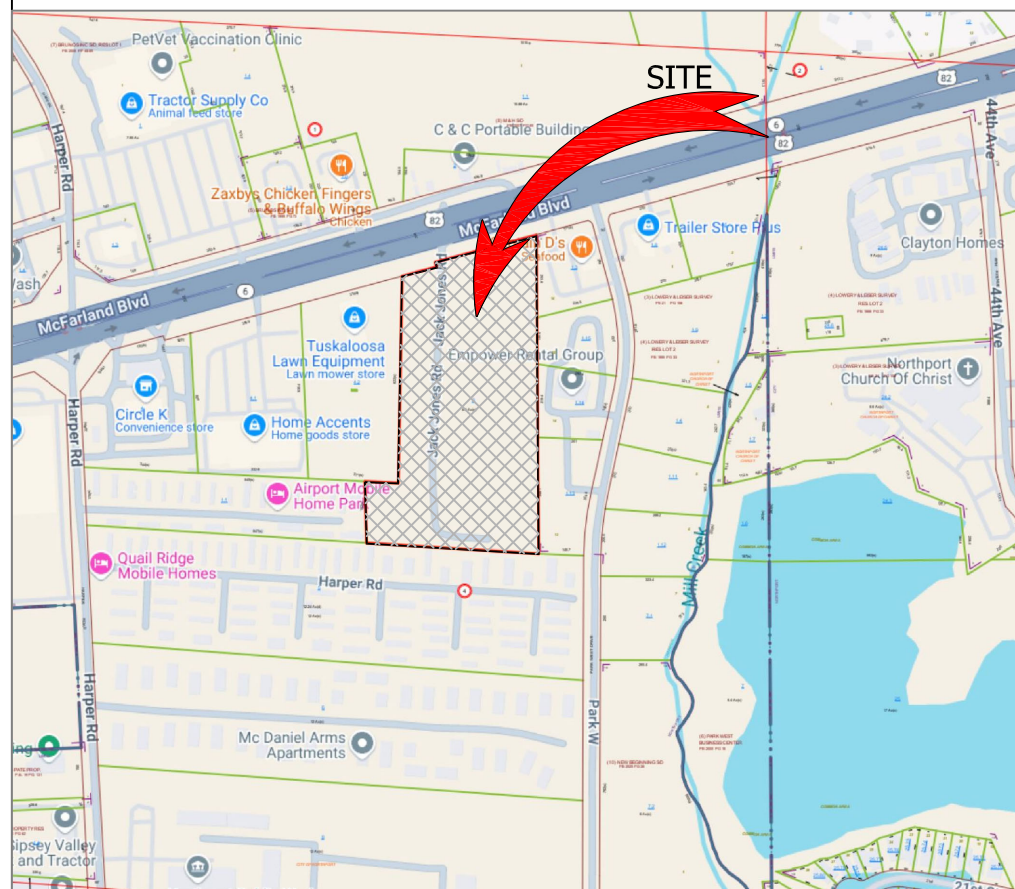


TYPICAL SECTION OF PROPOSED PRIVATE STREETS

**NOTES**

- CURRENT OWNER: ALI CASSUM  
2323 SKYLAND BLVD. E.  
TUSCALOOSA, AL 35405
- DESIGNER OF PLAT: JOHN MICHAEL HICKS, PLS - AL LICENSE NO. 15714  
2728 LURLEEN WALLACE BLVD.  
NORTHPORT, AL 35476
- TOTAL ACREAGE OF PLAT: 8.70  
TOTAL ACREAGE CONTROLLED BY OWNER: 8.70
- CONTOURS WERE TAKEN FROM TUSCALOOSA COUNTY TOPO  
CONTOUR INTERVAL: 2 FEET
- ACCORDING TO FEMA FLOOD MAP NUMBER 01125D0501G, EFFECTIVE DATE JANUARY 16, 2014  
SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA
- PROPERTY IS CURRENTLY ZONED C-6, "HIGHWAY COMMERCIAL"
- ALL CURB & GUTTER ON STATE RIGHT-OF-WAY WILL BE 30"  
ALL CURB & GUTTER ON SITE WILL BE 24"
- VARIANCE REQUESTED: PUBLIC STREET FRONTAGE FOR LOT 4
- LOTS 2 AND 3 WILL NOT HAVE DIRECT ACCESS TO McFARLAND BOULEVARD

VICINITY MAP - NOT TO SCALE



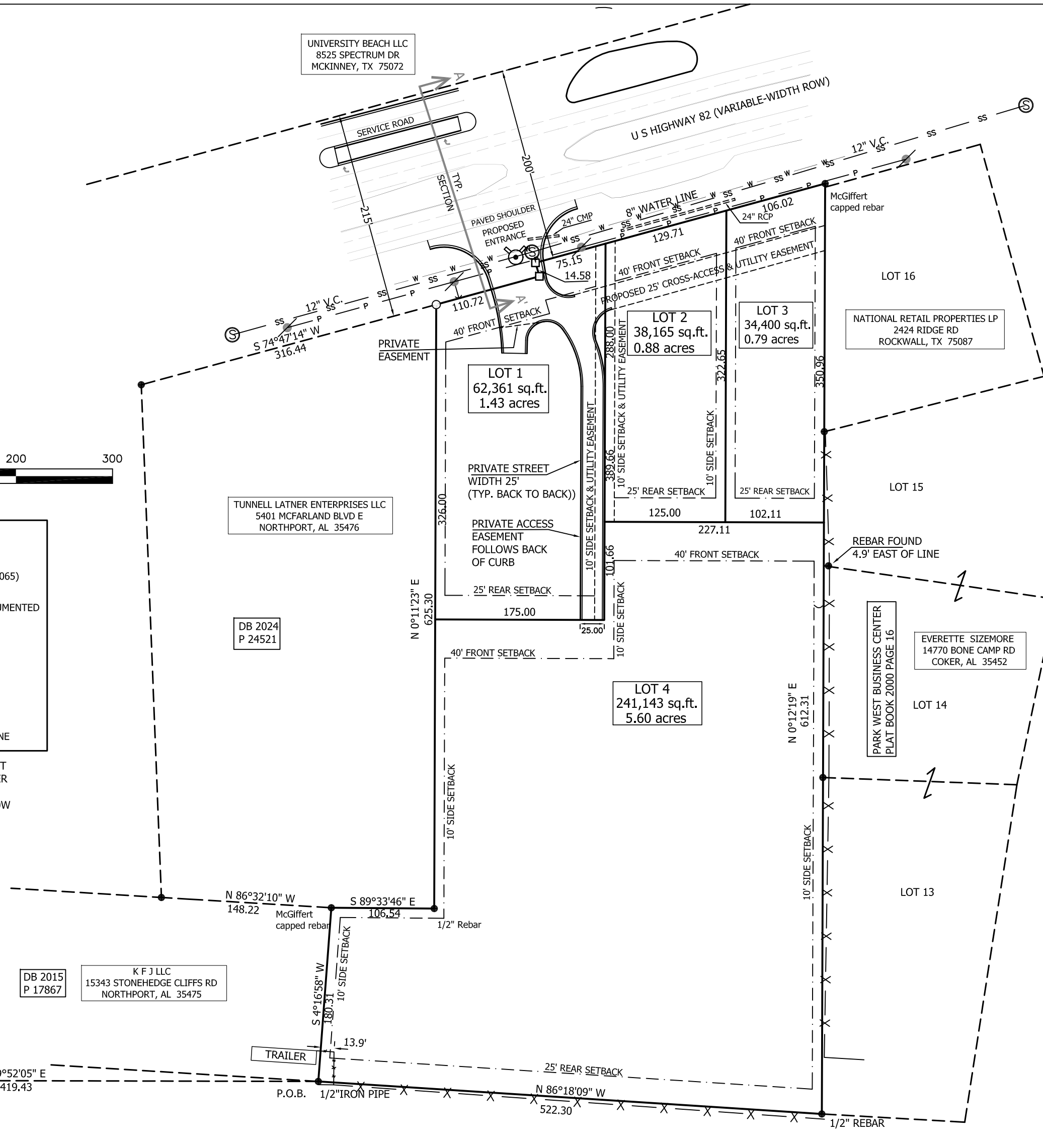
SCALE: 1" = 100'

**LEGEND**

- IRON FOUND
- 1/2" CAPPED REBAR SET (CA#0065)
- CONCRETE MONUMENT FOUND
- △ CALCULATED POINT-NOT MONUMENTED
- ⊙ SANITARY SEWER MANHOLE
- SS — SANITARY SEWER LINE
- ⊕ FIRE HYDRANT
- W — WATER LINE
- U — UTILITY POLE W/ GUY WIRE
- P/T — OVERHEAD POWER & TELEPHONE

CONCRETE MONUMENT  
FOUND AT NW CORNER  
SW 1/4 SW 1/4  
SECTION 8, T21S, R10W

CONCRETE MONUMENT  
FOUND AT SW CORNER  
SECTION 8, T21S, R10W



**HERNDON, HICKS & ASSOCIATES, INC.**

Professional Land Surveyors

2728 Lurleen Wallace Blvd. (P.O. Box 508) - Northport, AL 35476  
Phone (205) 333-0003  
mike@hhasurveyors.com

PRELIMINARY PLAT OF

82 WEST

IN THE SW1/4 SECTION 8, TOWNSHIP 21 SOUTH, RANGE 10 WEST  
TUSCALOOSA COUNTY ALABAMA

Source	DB 2020 P 23702	Job No.	2504-024
Field Work	6-10-25	Date	6-23-25
Survey Type	BOUNDARY	Scale	1"=100'
ACAD File	2504-024 Huffman PSD.dwg	Drawn By	JMH
Coordinate File	2504-024.txt	Approved By	JMH
		Surveyed by	WJN/KN/JH



**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** S-25-17 Thornton’s Resurvey of East Knollwood

**Applicant:** Montgomery and Hinkle

**Location:** 13777 Frank Lary Road

**Request:** Preliminary Plat

Montgomery and Hinkle is requesting preliminary plat approval for approximately 5.5 acres located at 13777 Frank Lary Road. The property is currently contained within one lot. The proposed plat would subdivide the site into 4 lots.

The following waivers are requested with this plat:

- **Capped Sewer** - The subdivision regulations require that all lots have capped sewer laterals installed. A waiver from this requirement has been requested. There is no public sewer in the vicinity, and there are no current plans to extend public sewer to this area.
- **Half-Street Improvements** - The subdivision regulations require all public right-of-way to have curb and gutter. A waiver has been requested for half-street improvements on Frank Lary Road and Knollwood Road. The existing roads are maintained by the County, and do not have curb and gutter, and there is none in the area. Tuscaloosa County typically does not want to add curb and gutter and have provided a letter in support of this waiver.
- **Sidewalks** - The subdivision regulations require that sidewalks be constructed along all right-of-way frontages. A waiver has been requested for sidewalk construction on Frank Lary Road and Knollwood Road. There are no adjacent sidewalks. Sidewalks are not proposed in the City’s Comprehensive Plan or in the MPO’s Bicycle and Pedestrian Plan. Tuscaloosa County does not typically want sidewalk to be added and have provided a letter in support of this waiver.

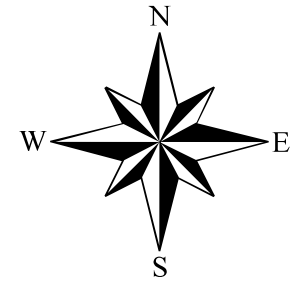
The current property consists of a single-family residence on one unincorporated lot (no zoning). It is surrounded to the north by unincorporated single-family residential (no zoning); to the east by unincorporated single-family residential (no zoning); to the south across Knollwood Road by an unincorporated undeveloped lot (no zoning); and to the west across Frank Lary Road by unincorporated land that is a mixture of undeveloped lots and a single-family residence (no zoning).

The future land use plan contained within Northport Compass depicts this property as “Low Density Residential”, which is defined as “single-family detached houses on relatively large lots – 15,000 square feet or larger”. The smallest lot proposed within this plat would be approximately 37,000 square feet. The request is not in conflict with the comprehensive plan.

Any action on this item will require 6 affirmative votes. Should this agenda item fail, the reasons for any non-affirmative votes must be stated on the record.

# City of Northport Planning Commission

## Preliminary Plat

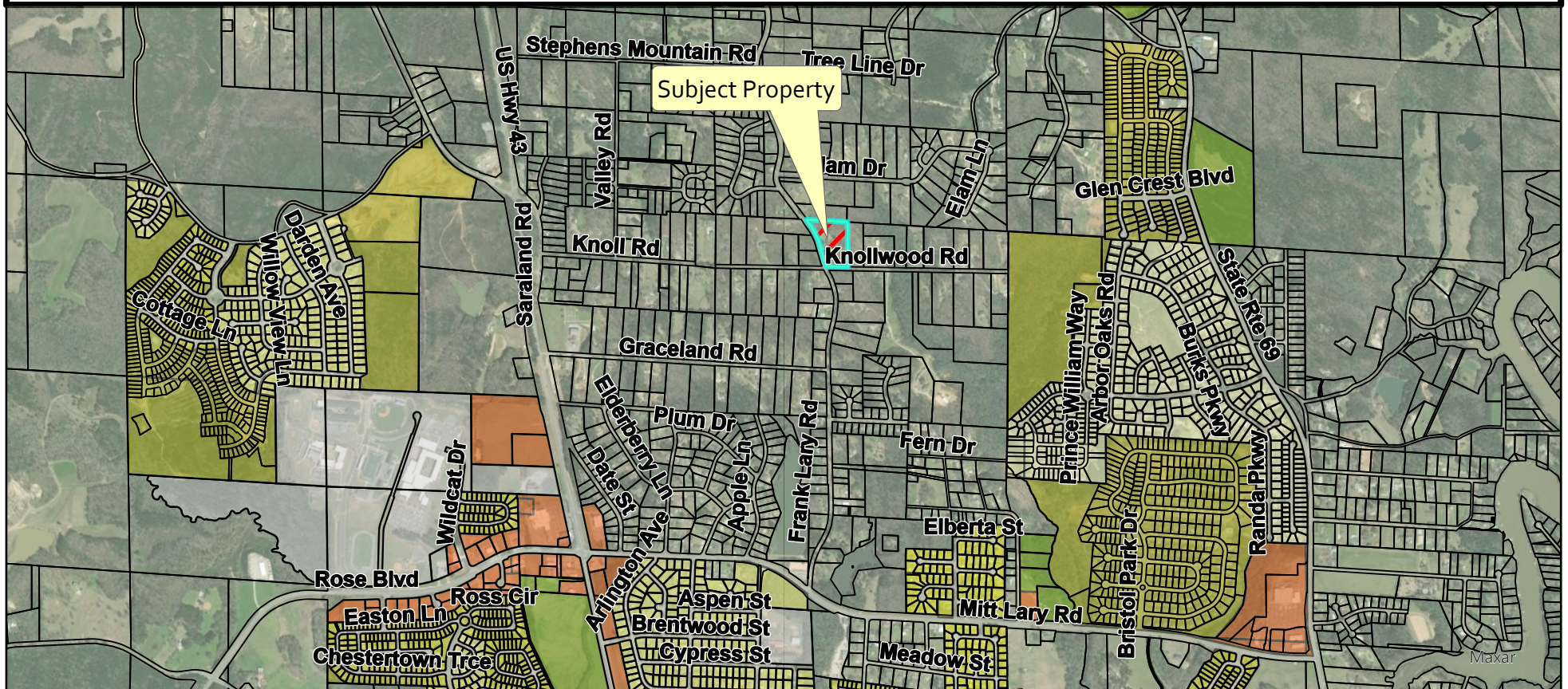
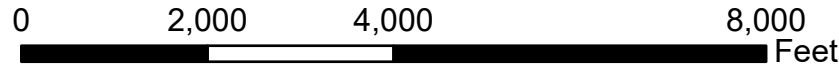


### Zoning

- Agriculture
- Neighborhood Commercial
- General Commercial
- Office and Institutional
- Special District
- Residential Single-Family - 1

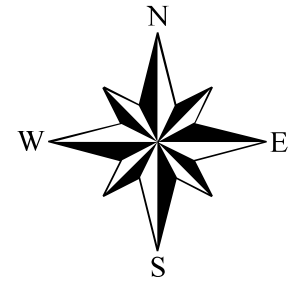
- Residential Single-Family - 2
- Residential Single-Family - 3
- Residential Single-Family - 4
- Parcels
- Subject Property

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# City of Northport Planning Commission

## Preliminary Plat

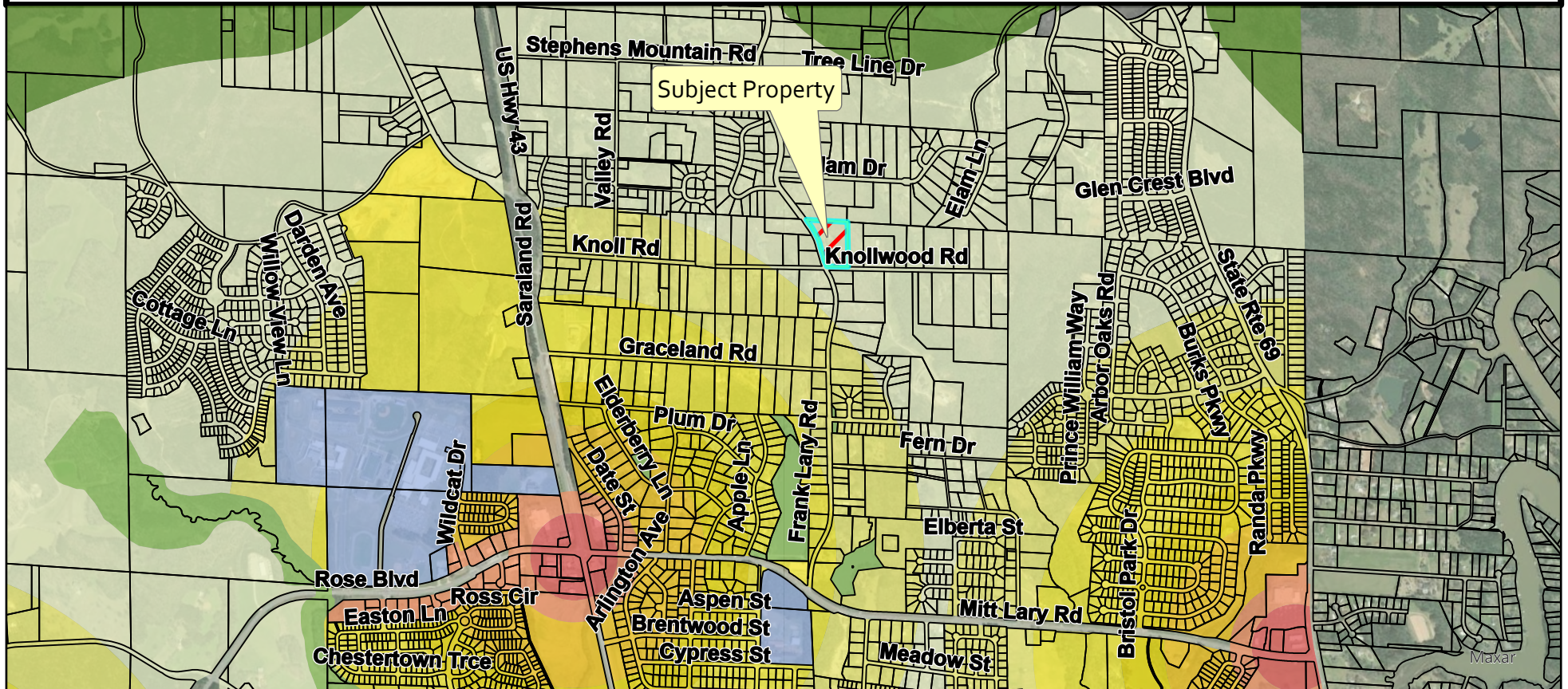
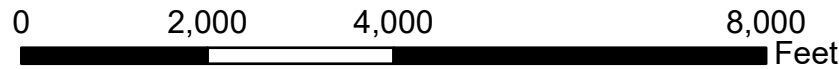


### Future Land Use

- Agriculture Rural Residential
- Conservation
- Conservation Floodway
- General Mixed-Use
- Limited Mixed-Use
- High Density Residential
- High to Medium Density Transition
- Medium Density Residential

- Medium to Low Density Transition
- Low Density Residential
- Institutional
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- Subject Property

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Subject property as seen from intersection of Frank Lary Rd and Knollwood Rd looking Northwest



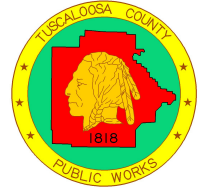
Google



**Scott F. Anders, P.E.**  
County Engineer

**TUSCALOOSA COUNTY PUBLIC WORKS DEPARTMENT**

2810 35th Street  
Tuscaloosa, Alabama 35401  
(205) 345-6600  
FAX (205) 345-6600



**Tracy M. Criss, P.E.**  
Assistant County Engineer

June 27, 2024

Dear Sir or Madam:

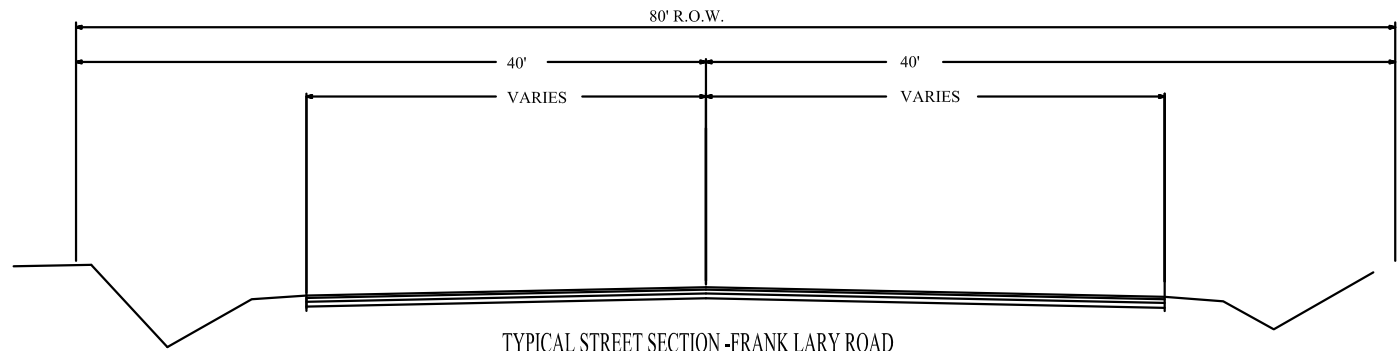
Re: City of Northport Planning and Zoning Jurisdiction  
Frank Lary Road & Knollwood Road  
Requirements of Half-Street Improvements and Sidewalks  
Tuscaloosa County Roads  
Tuscaloosa County, Alabama

It is our standard policy not to require half-street improvements within Tuscaloosa County Roadways. As per Tuscaloosa County Subdivision Regulations, sidewalks are required when serving 21 or more lots. We support granting the waivers of these two items. We reserve the right to reverse this policy on a case-by-case basis. If you have any questions, please feel free to call.

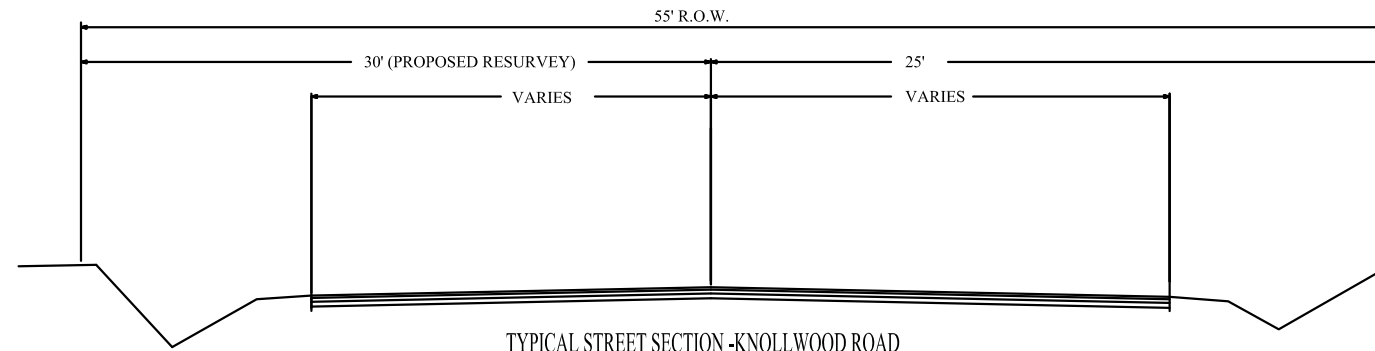
Sincerely,

Scott F. Anders, P.E.  
Tuscaloosa County Engineer

SFA/jgc



TYPICAL STREET SECTION - FRANK LARY ROAD  
24' ASPHALT PAVEMENT-NO IMPROVEMENTS PLANNED



TYPICAL STREET SECTION - KNOLLWOOD ROAD  
22' ASPHALT PAVEMENT-NO IMPROVEMENTS PLANNED

35 foot rear  
mbl added

- NOTES:**
- 1) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP, MAP NUMBER 0125C0303G EFFECTIVE DATE, JANUARY 16, 2014, THE SUBJECT PROPERTY LIES IN UNSHADED ZONE X ("AREA ABOVE THE 0.2% FLOOD ELEVATION").
  - 2) ALL ANGLES AND OR BEARINGS TO CURVES ARE TO THEIR RESPECTIVE CHORDS.
  - 3) ALL DISTANCES IN CURVES ARE TO THE CHORD.
  - 4) ALL EASEMENTS, EXCEPT THOSE IDENTIFIED AS PRIVATE, SHOWN ON THIS PLAT ARE FOR PUBLIC IMPROVEMENTS INCLUDING PUBLIC UTILITIES SUCH AS SANITARY SEWERS, STORM SEWERS, AND STORM DITCHES, AND MAY BE USED FOR SUCH PURPOSES TO SERVE PROPERTY BOTH WITHIN AND WITHOUT THIS SUBDIVISION. NO PRIVATE UTILITY INCLUDING PRIVATE SANITARY SEWER LINES THAT RUN ALONG THE EASEMENT SHALL BE INSTALLED WITHIN THE EASEMENT BUT MAY BE PERMITTED TO CROSS PERPENDICULAR TO THE EASEMENT. NO PERMANENT STRUCTURE OR OTHER OBSTRUCTION SHALL BE LOCATED WITH THE LIMITS OF A DESIGNATED EASEMENT. FENCES OR SHRUBBERY PLACED WITH AN EASEMENT ARE SUBJECT TO REMOVAL WITHOUT COMPENSATION AT CONVENIENCE OF CITY OR COUNTY.
  - 5) ALL IMPROVEMENTS NOT SHOWN AT THIS TIME.
  - 6) THIS PROPERTY IS LOCATED IN TUSCALOOSA COUNTY AND IS NOT ZONED AND IS WITHIN CITY OF NORTHPORTS PLANNING JURISDICTION.
  - 7) ALL IMPROVEMENTS FROM LOT 2 INTO LOT 3 TO BE REMOVED.
  - 8) LOT 2 HAS AN EXISTING ON SITE SEWAGE DISPOSABLE SYSTEM. ALL OTHER LOTS TO BE SERVED BY INDIVIDUAL ON SITE SEWAGE DISPOSABLE SYSTEM.
  - 9) WAIVERS REQUESTED
    - A) CAPPED SEWER (SEE ATTACHED LETTER PROVIDED) waiver request added
    - B) HALF STREET IMPROVEMENTS (SEE ATTACHED LETTER PROVIDED)
    - C) SIDEWALK (SEE ATTACHED LETTER PROVIDED)

OWNER/DEVELOPER:  
LINDA THORNTON  
13777 FRANK LARY ROAD  
NORTHPORT, ALABAMA 35475

5.5 ACRES OWNED  
5.5 ACRES DEVELOPED  
2.9 ADDITIONAL ACRES OWNED

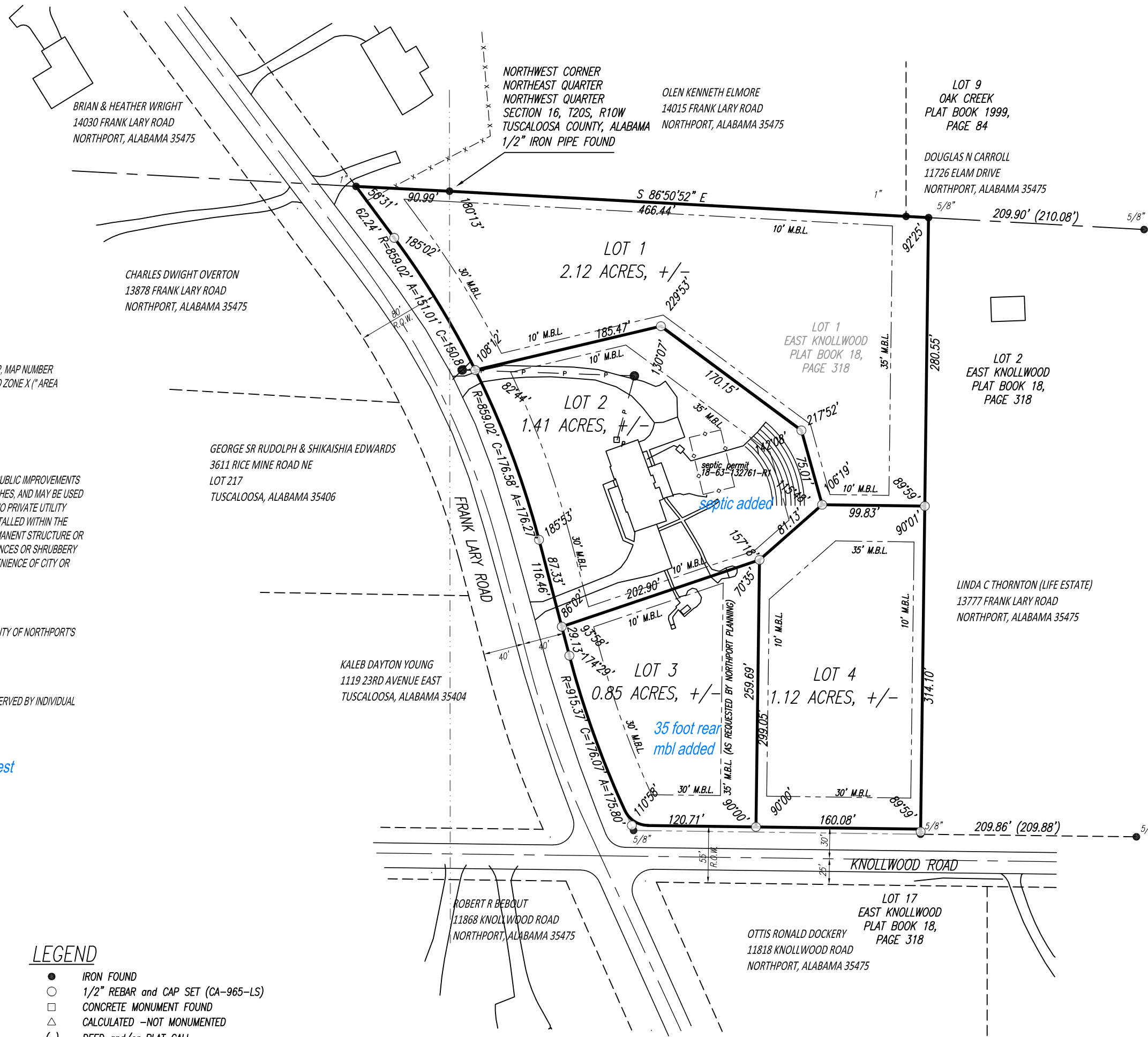
**LEGEND**

- IRON FOUND
- 1/2" REBAR and CAP SET (CA-965-S)
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- ( ) DEED and/or PLAT CALL
- R.O.W. RIGHT-OF-WAY
- X- FENCE LINE
- M.B.L. MINIMUM BUILDING LINE
- UTILITY POLE
- P- POWER LINE
- WATER METER
- POWER METER
- ▨ CONCRETE SURFACE
- BUILDING
- ▨ WOOD SURFACE
- X- LINE NOT TO SCALE



SCALE: 1"=100 FEET  
0 50 100 200

BASIS OF SURVEY - GRID NORTH - ALABAMA WEST ZONE.

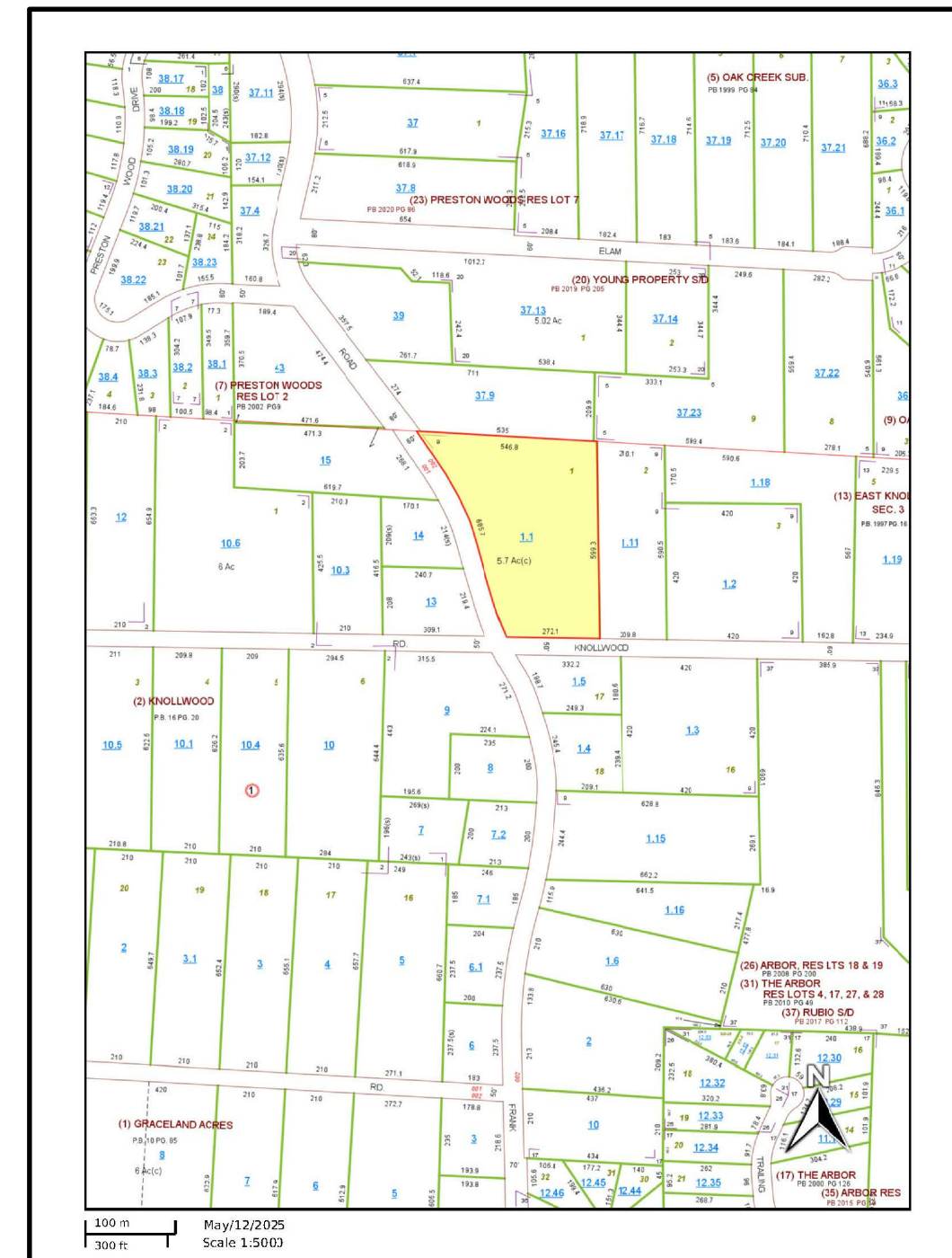


REVISED JUNE 18, 2025

NOTES ON COMMENTS BY CITY OF NORTHPORT MEMORANDUM JUNE 18, 2025

- 1) WAIVER LETTER HAS BEEN PROVIDED FOR SAITARY SEWER, HALF STREET AND SIDEWALK.
- 2) LOT 3 HAS 35 FOOT REAR SETBACK ALONG THE PROPERTY LINE ADJACENT TO KNOLLWOOD ROAD.
- 3) APPROXIMATE LOCATION OF EXISTING SEPTIC SYSTEM SHOWN (PERMIT NUMBER 18-63-132761-R1)

waiver request  
added



**PRELIMINARY PLAT FOR NORTHPORT PLANNING AND ZONING COMMISSION**

**Montgomery and Hinkle, inc.**  
Professional Land Surveyors  
203 Hargrove Road East  
Tuscaloosa, Alabama 35401  
TuscaloosaLandSurvey.com  
Phone - (205) 248-7396 - Fax - (205) 248-7398  
kevin@mhsurvey.com  
marty@mhsurvey.com  
office@mhsurvey.com

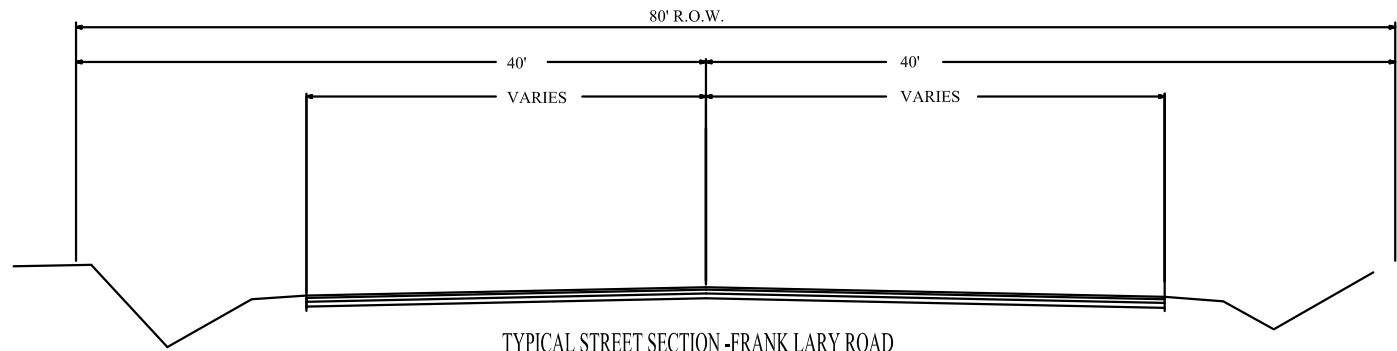
**INFORMATION SOURCES**


**THORNTON'S RESURVEY OF EAST KNOLLWOOD**  
A RESURVEY OF LOT 1, EAST KNOLLWOOD, PLAT BOOK 18, PAGE 318  
NORTHWEST QUARTER SECTION 16, TOWNSHIP 20 SOUTH, RANGE 10 WEST  
TUSCALOOSA COUNTY, ALABAMA

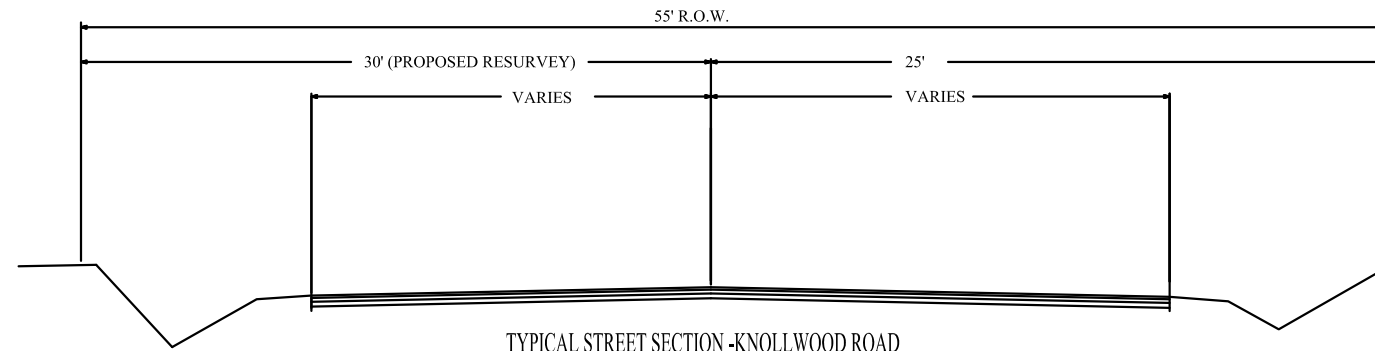
**SOURCE OF TITLE:**

DB 2023, PG 3755
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Source of Info.	DB 2023, PG 3755	Job No.	2505-027
Field Work	05/2025	Date	06/06/2025
Survey Type	PLEM PLAT	Scale	1" = 100'
Field Book	D/C	Drawn By	S.M.B.
ACAD File	2505-027 Plem Plat	Approved By	KDH
COGO File	2505-027	Sheet	1 of 1



TYPICAL STREET SECTION -FRANK LARY ROAD  
24' ASPHALT PAVEMENT-NO IMPROVEMENTS PLANNED



TYPICAL STREET SECTION -KNOLLWOOD ROAD  
22' ASPHALT PAVEMENT-NO IMPROVEMENTS PLANNED

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LINDA THORNTON  
13777 FRANK LARY ROAD  
NORTHPORT, ALABAMA 35475

5.5 ACRES OWNED  
5.5 ACRES DEVELOPED  
2.9 ADDITIONAL ACRES OWNED

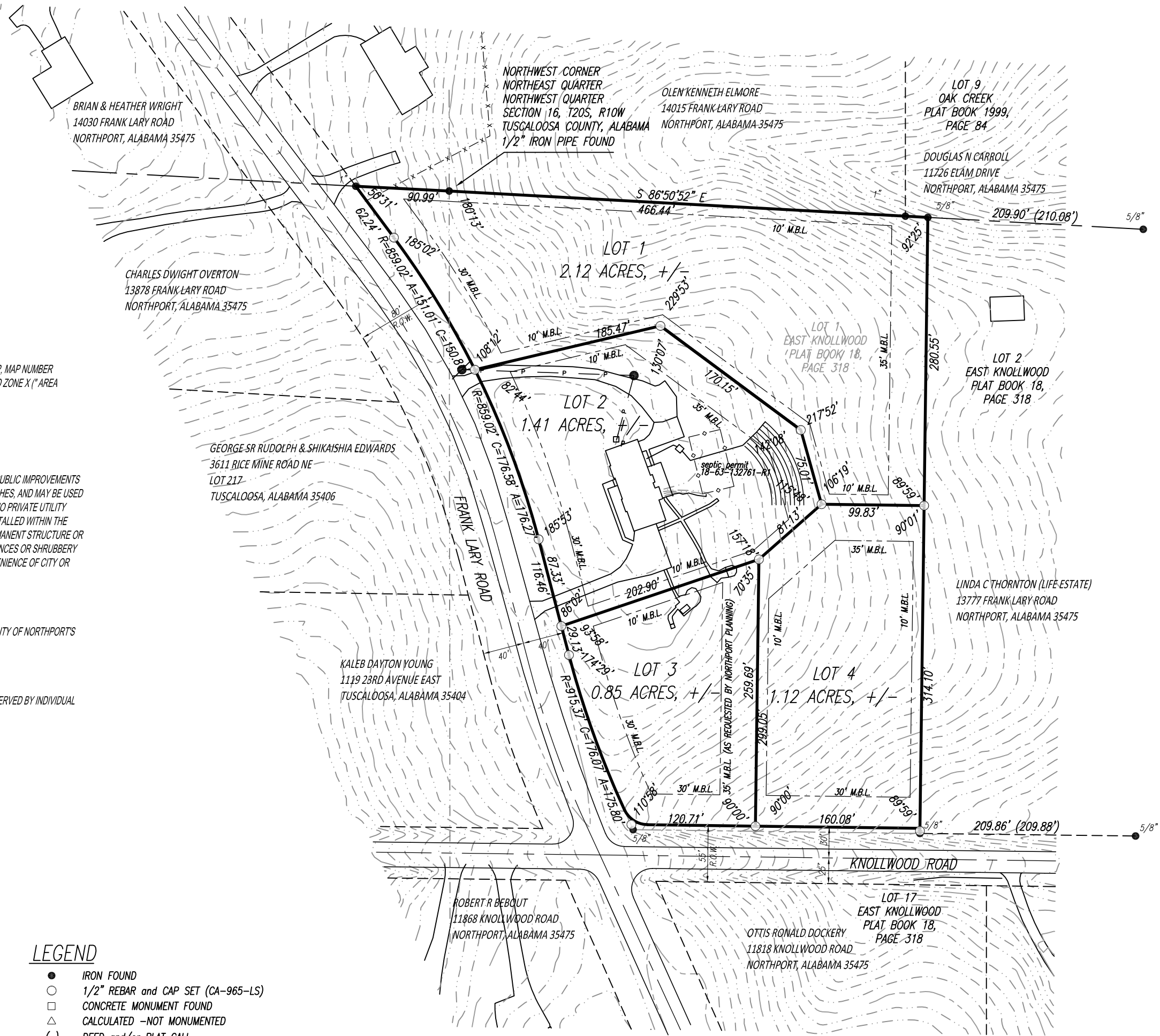
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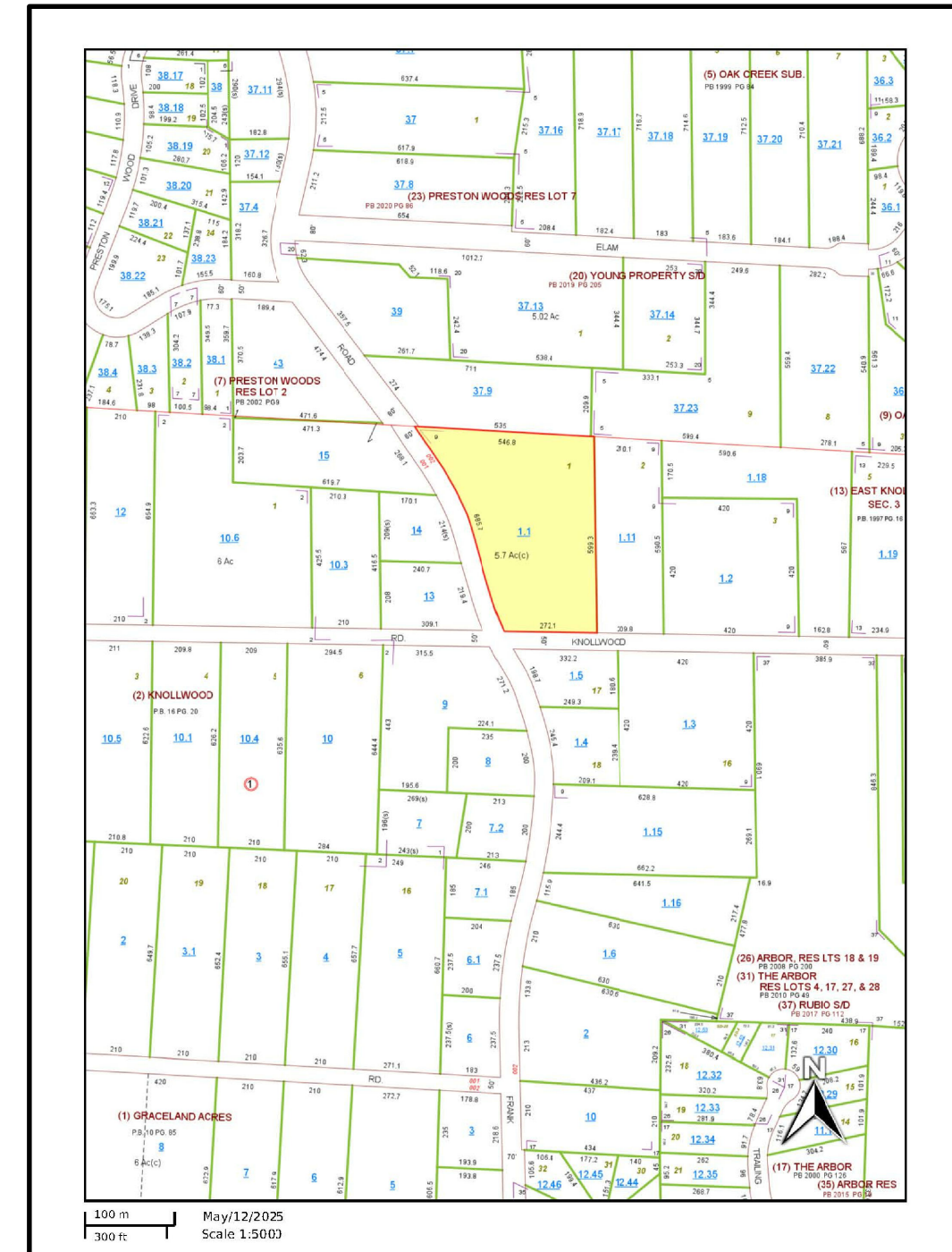
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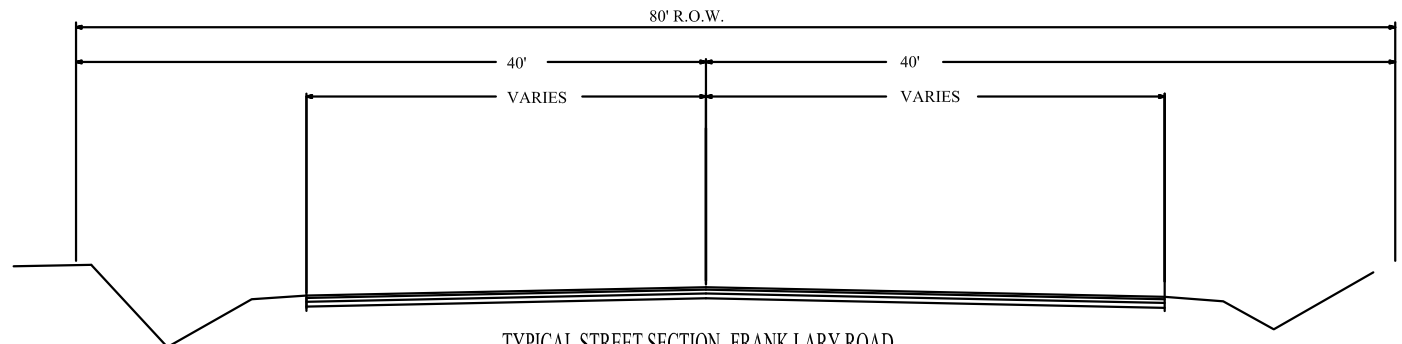
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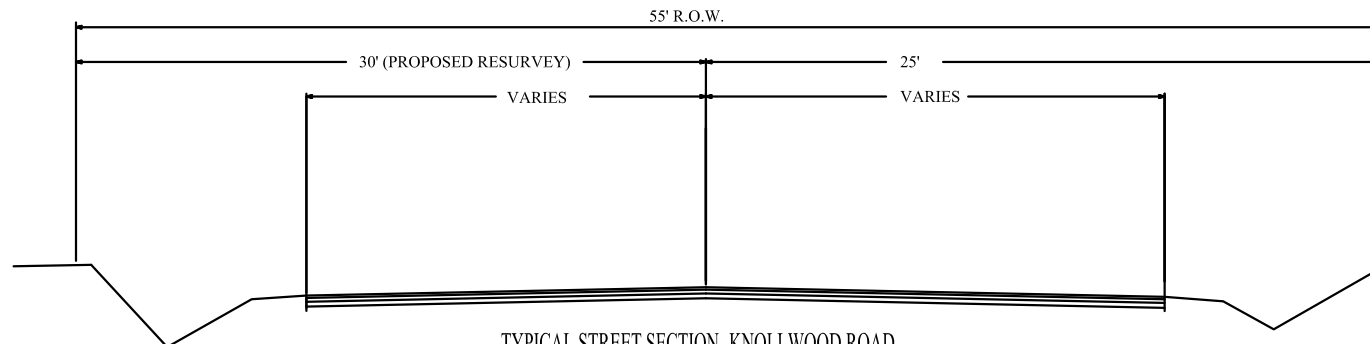
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NORTHWEST QUARTER SECTION 16, TOWNSHIP 20 SOUTH, RANGE 10 WEST  
TUSCALOOSA COUNTY, ALABAMA

SOURCE OF TITLE:  
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Source of Info.	DB 2023, PG 3755	Job No.	2505-027
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OWNER/DEVELOPER:  
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13777 FRANK LARY ROAD  
NORTHPORT, ALABAMA 35475

5.5 ACRES OWNED  
5.5 ACRES DEVELOPED  
2.9 ADDITIONAL ACRES OWNED

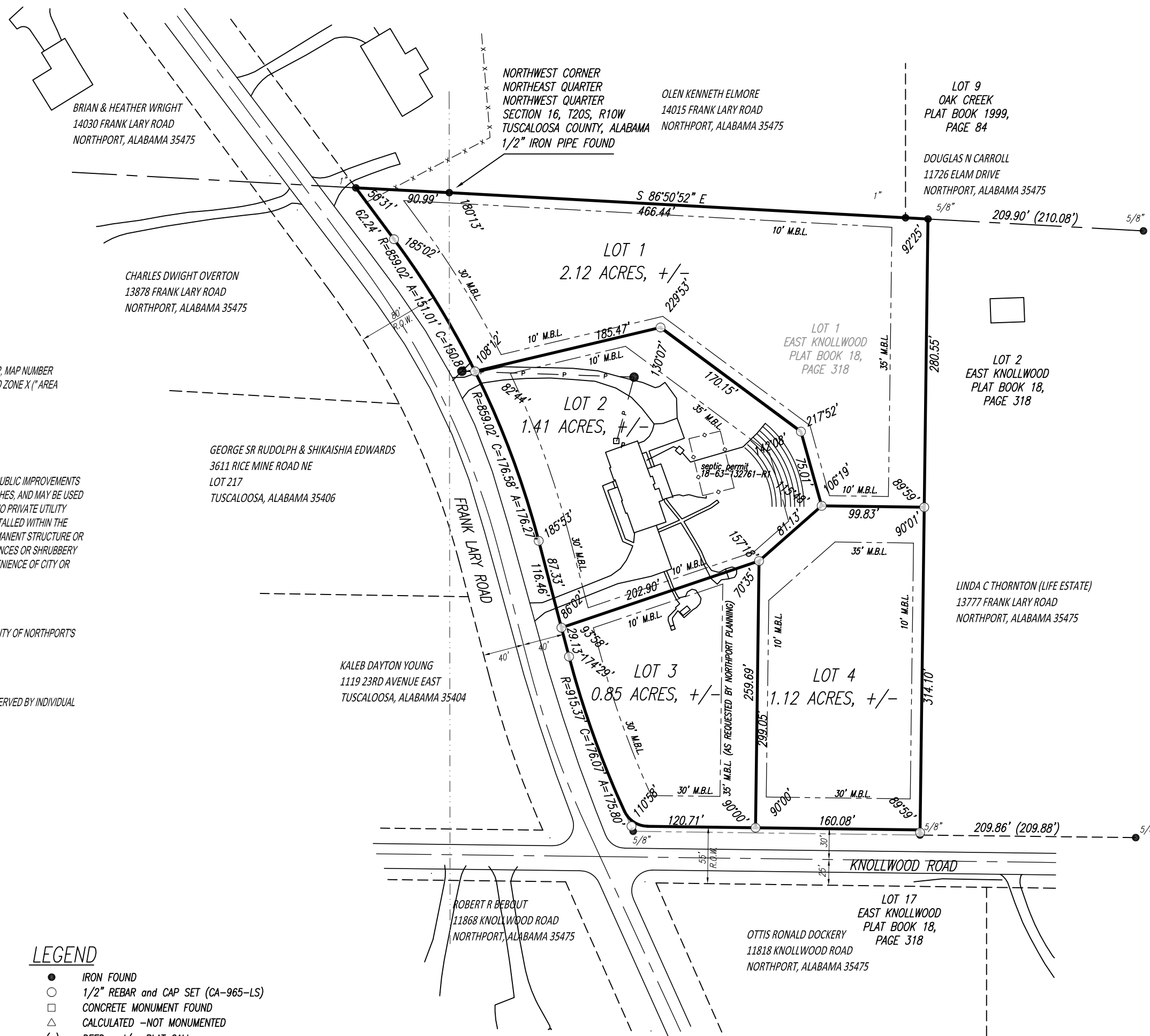
**LEGEND**

- IRON FOUND
- 1/2" REBAR and CAP SET (CA-965-S)
- CONCRETE MONUMENT FOUND
- ◇ CALCULATED -NOT MONUMENTED
- ( ) DEED and/or PLAT CALL
- R.O.W. RIGHT-OF-WAY
- X- FENCE LINE
- M.B.L. MINIMUM BUILDING LINE
- UTILITY POLE
- P- POWER LINE
- WATER METER
- POWER METER
- ▨ CONCRETE SURFACE
- BUILDING
- ▨ WOOD SURFACE
- > LINE NOT TO SCALE



SCALE: 1"=100 FEET

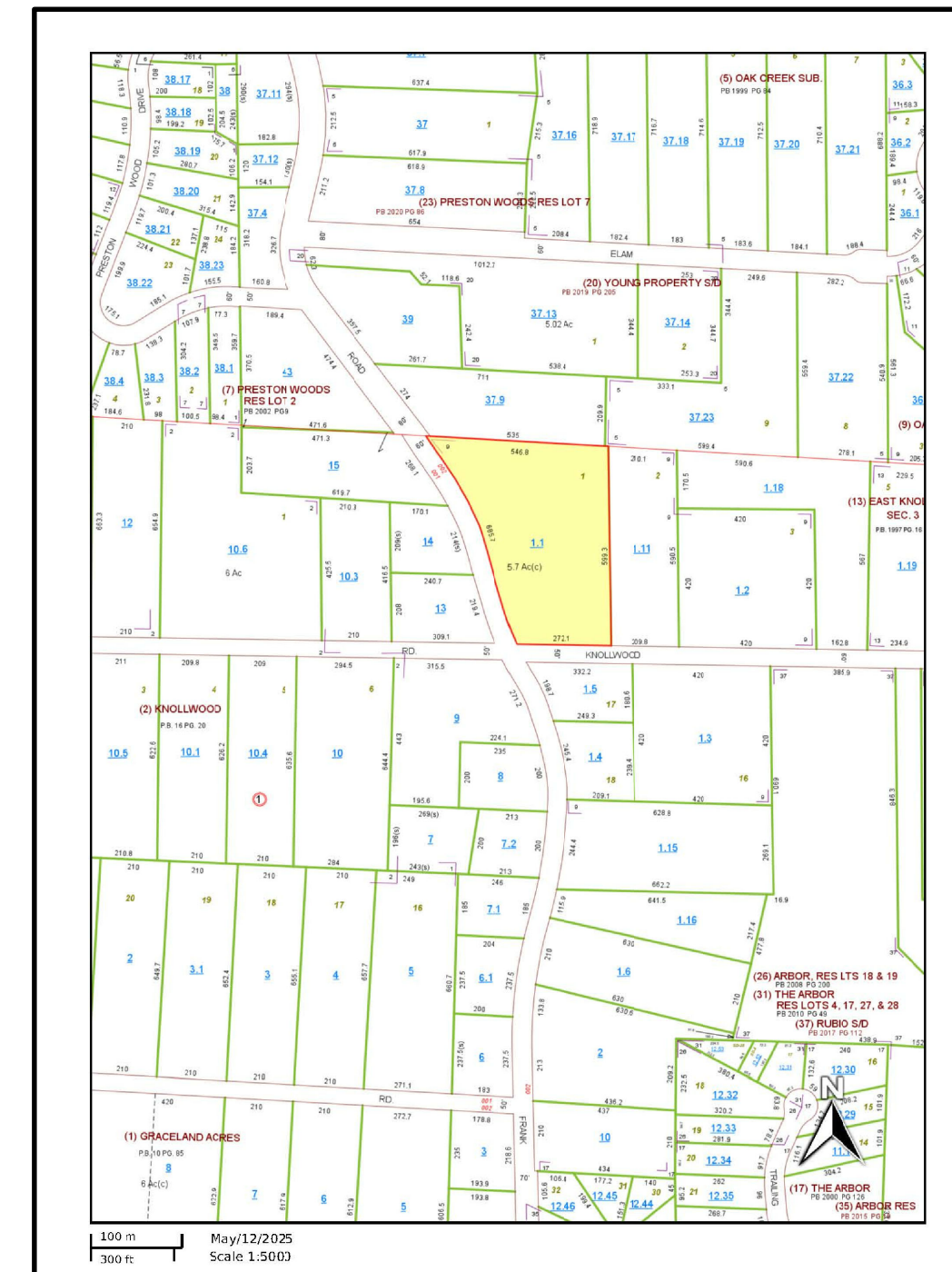
BASIS OF SURVEY - GRID NORTH - ALABAMA WEST ZONE.



REVISED JUNE 18, 2025

NOTES ON COMMENTS BY CITY OF NORTHPORT MEMORANDUM JUNE 18, 2025

- 1) WAIVER LETTER HAS BEEN PROVIDED FOR SANITARY SEWER, HALF STREET AND SIDEWALK.
- 2) LOT 3 HAS 35 FOOT REAR SETBACK ALONG THE PROPERTY LINE ADJACENT TO KNOLLWOOD ROAD.
- 3) APPROXIMATE LOCATION OF EXISTING SEPTIC SYSTEM SHOWN (PERMIT NUMBER 18-63-132761-R1)



**PRELIMINARY PLAT FOR NORTHPORT PLANNING AND ZONING COMMISSION**

**Montgomery and Hinkle, inc.**  
Professional Land Surveyors  
203 Hargrove Road East  
Tuscaloosa, Alabama 35401  
TuscaloosaLandSurvey.com  
Phone - (205) 248-7396 - Fax - (205) 248-7398  
kevin@mhsurvey.com  
marty@mhsurvey.com  
office@mhsurvey.com

INFORMATION SOURCES

**THORNTON'S RESURVEY OF EAST KNOLLWOOD**

A RESURVEY OF LOT 1, EAST KNOLLWOOD, PLAT BOOK 18, PAGE 318  
NORTHWEST QUARTER SECTION 16, TOWNSHIP 20 SOUTH, RANGE 10 WEST  
TUSCALOOSA COUNTY, ALABAMA

SOURCE OF TITLE:  
DB 2023, PG 3755

Source of Info.	DB 2023, PG 3755	Job No.	2505-027
Field Work	05/2025	Date	06/06/2025
Survey Type	PLEM PLAT	Scale	1" = 100'
Field Book	D/C	Drawn By	S.M.B.
ACAD File	2505-027 Plem Plat	Approved By	KDH
COGO File	2505-027	Sheet	1 of 1

**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** ANX-25-4  
**Applicant:** Benjamin Caleb New  
**Location:** 13469 Mount Olive Road  
**Request:** Annexation

Benjamin Caleb New is requesting annexation of approximately 1.46 acres located at 13469 Mount Olive Road. The reason for this request is to obtain city water service, which requires annexation when possible. This property is currently an unincorporated undeveloped lot (no zoning). It is surrounded to the north across Mount Olive Road by an unincorporated undeveloped lot (no zoning); to the east by an undeveloped lot zoned Special District (SD); and to the south and west by an unincorporated undeveloped lot (no zoning).

The applicant is requesting Residential Single- Family (RS-1) zoning. The proposed use is single-family residential.

This property does not lie within the priority growth areas identified in the comprehensive plan. It is, however, contiguous to the city limits and eligible to request annexation. The future land use plan within Northport Compass identifies this property as “Low Density Residential”. The proposed use and requested zoning does not conflict with the comprehensive plan.

Any action on this item will be a recommendation to City Council.

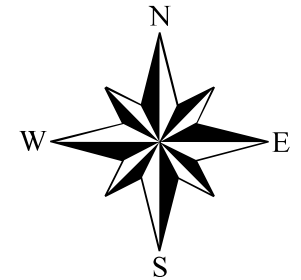
# City of Northport Planning Commission

## Annexation Request

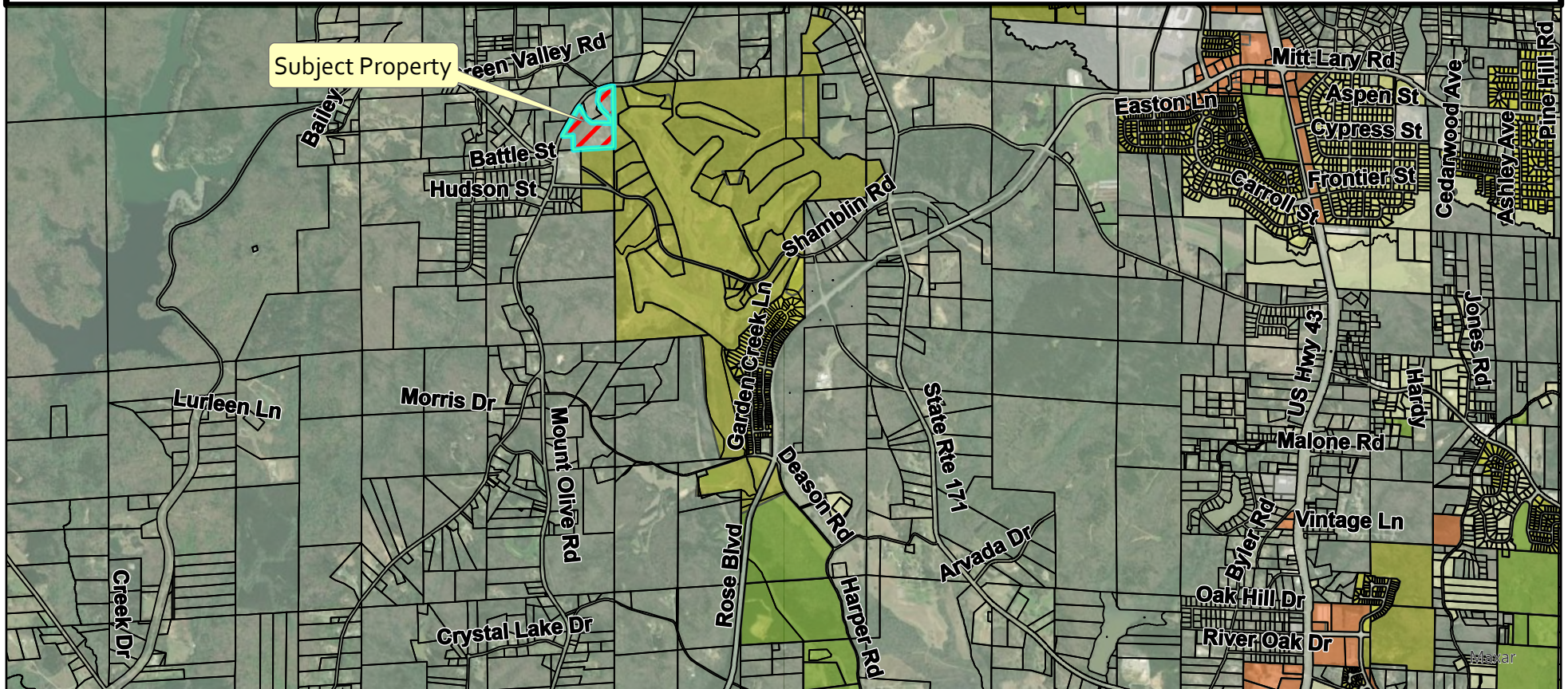
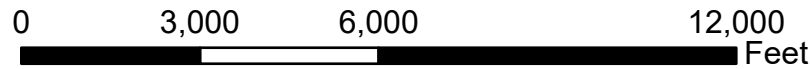
### Zoning

- Agriculture
- Neighborhood Commercial
- General Commercial
- Office and Institutional
- Special District
- Residential Single-Family - 1

- Residential Single-Family - 2
- Residential Single-Family - 3
- Residential Single-Family - 4
- Parcels
- Subject Property

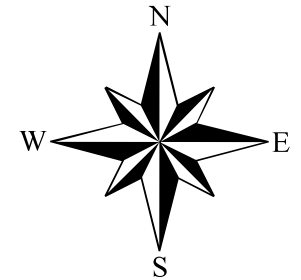


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# City of Northport Planning Commission

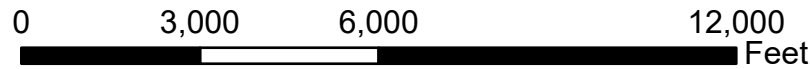
## Annexation Request



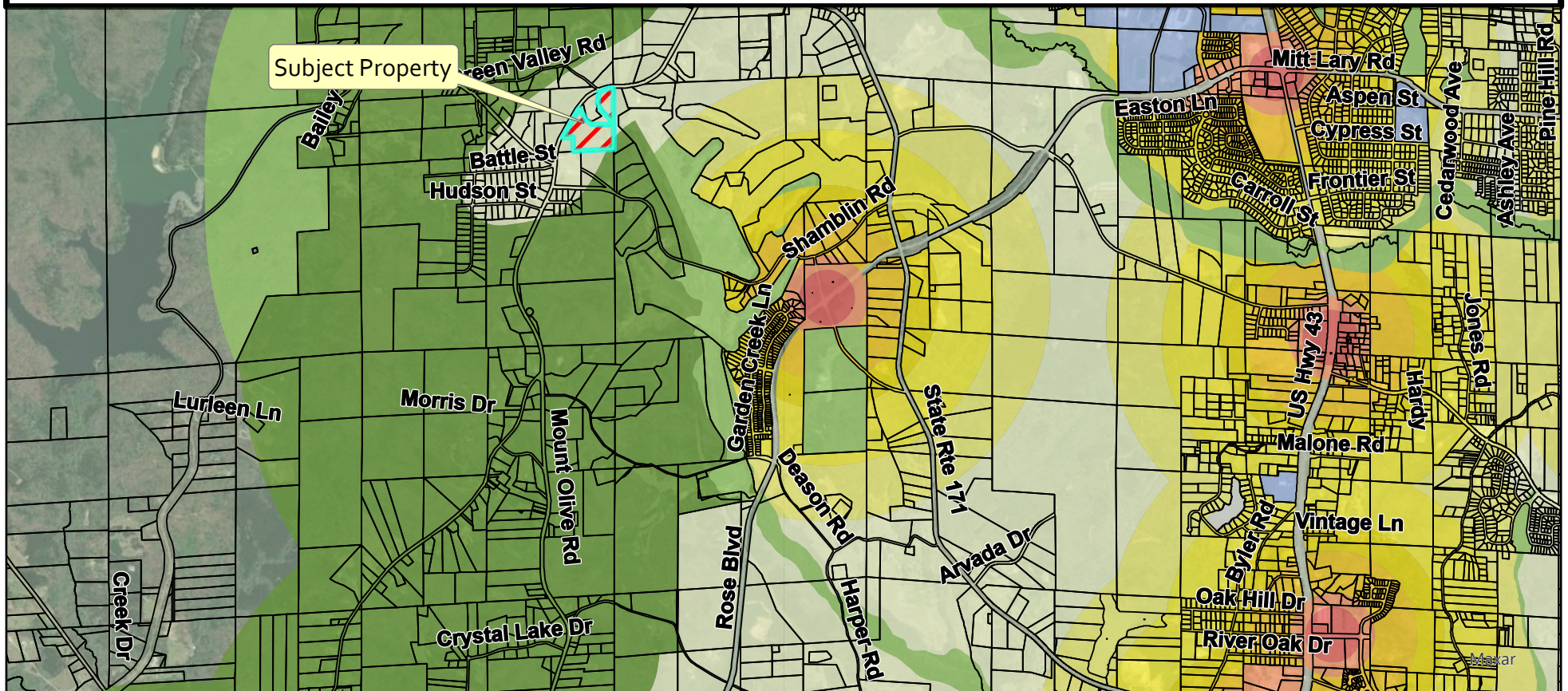
### Future Land Use

- Agriculture Rural Residential
- Conservation
- Conservation Floodway
- General Mixed-Use
- Limited Mixed-Use
- High Density Residential
- High to Medium Density Transition
- Medium Density Residential

- Medium to Low Density Transition
- Low Density Residential
- Institutional
- Utilities
- Null
- Parcels
- Subject Property



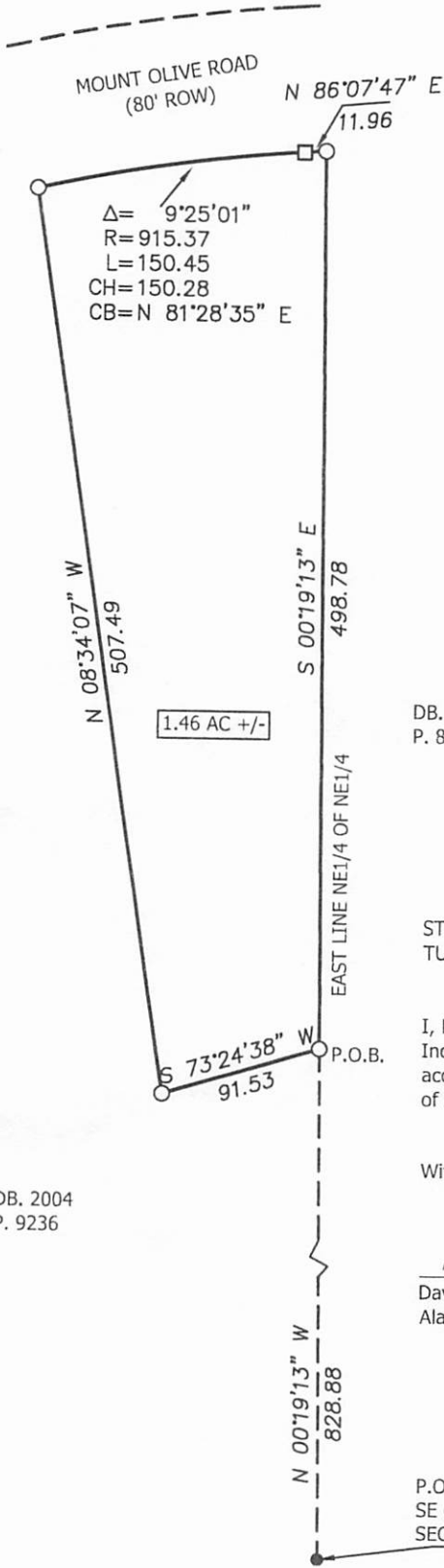
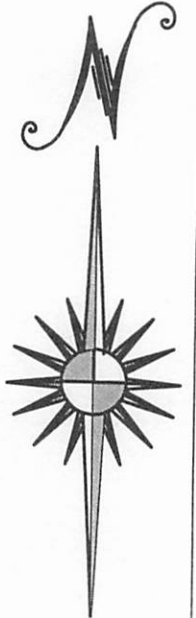
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Subject property  
as seen from  
Mount Olive Road  
looking south.

SURVEY OF PART OF THE NORTHEAST QUARTER OF SECTION 23,  
TOWNSHIP 20 SOUTH, RANGE 11 WEST TUSCALOOSA COUNTY AL.



DB. 2016  
P. 8773

STATE OF ALABAMA  
TUSCALOOSA COUNTY

I, David R. Herndon, a Professional Land Surveyor for the firm of Herndon, Hicks and Associates, Inc., do hereby certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

Witness my hand this the 3RD day of MARCH, 2025.

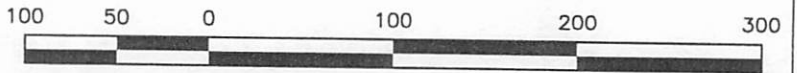
David R. Herndon, P.L.S.  
Alabama License No. 14105

P.O.C.  
SE CORNER NE1/4 OF NE1/4  
SECTION 23

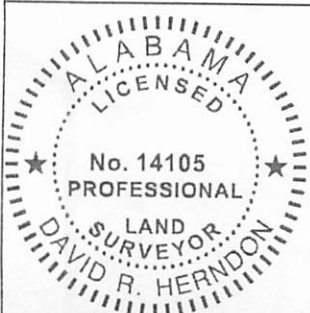
NOTE:  
SEE ATTACHED DESCRIPTION

LEGEND

- IRON FOUND
- 1/2" CAPPED REBAR SET (CA 0065)
- CONCRETE MONUMENT FOUND
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- ( ) RECORD DIMENSION
- R.O.W. RIGHT-OF-WAY



SCALE: 1" = 100'



**HERNDON, HICKS & ASSOCIATES, INC.**

*Professional Land Surveyors*

2728 Lurleen Wallace Blvd. (P.O. Box 508) - Northport, AL 35476  
Phone (205) 333-0003  
mike@hhasurveyors.com

Drawn By DRH	Field Work 2/25
Scale 1"=100'	Surveyed By WJN
Date 3/3/25	Appd. By DRH
Survey Type BOUNDARY	Source of Information OLD SURVEY
Job No. 2502-028	Drawing No. 2502-028 WALKER

**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** ANX-25-5

**Applicant:** Dorothy Tucker

**Location:** 10470 Jones Road

**Request:** Annexation

Dorothy Tucker is requesting annexation of approximately 1 acre located at 10470 Jones Road. The reason for this request is to obtain city water service, which requires annexation when possible.

This property is currently an unincorporated undeveloped lot (no zoning). It is surrounded to the north by an unincorporated single-family residence (no zoning); to the east by a single-family residence zoned Residential Single-Family (RS-1); to the south by an unincorporated undeveloped lot (no zoning); and to the west by a single-family residence zoned Residential Single-Family (RS-1).

The applicant is requesting Residential Single-Family (RS-1) zoning. The proposed use is a manufactured home.

This property lies within the priority growth areas identified in the comprehensive plan. The future land use plan within Northport Compass identifies this property as “Medium Density Residential”. The proposed use and requested zoning does not conflict with the comprehensive plan.

Any action on this item will be a recommendation to City Council.

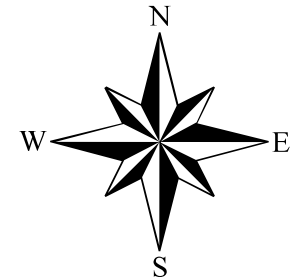
# City of Northport Planning Commission

## Annexation Request

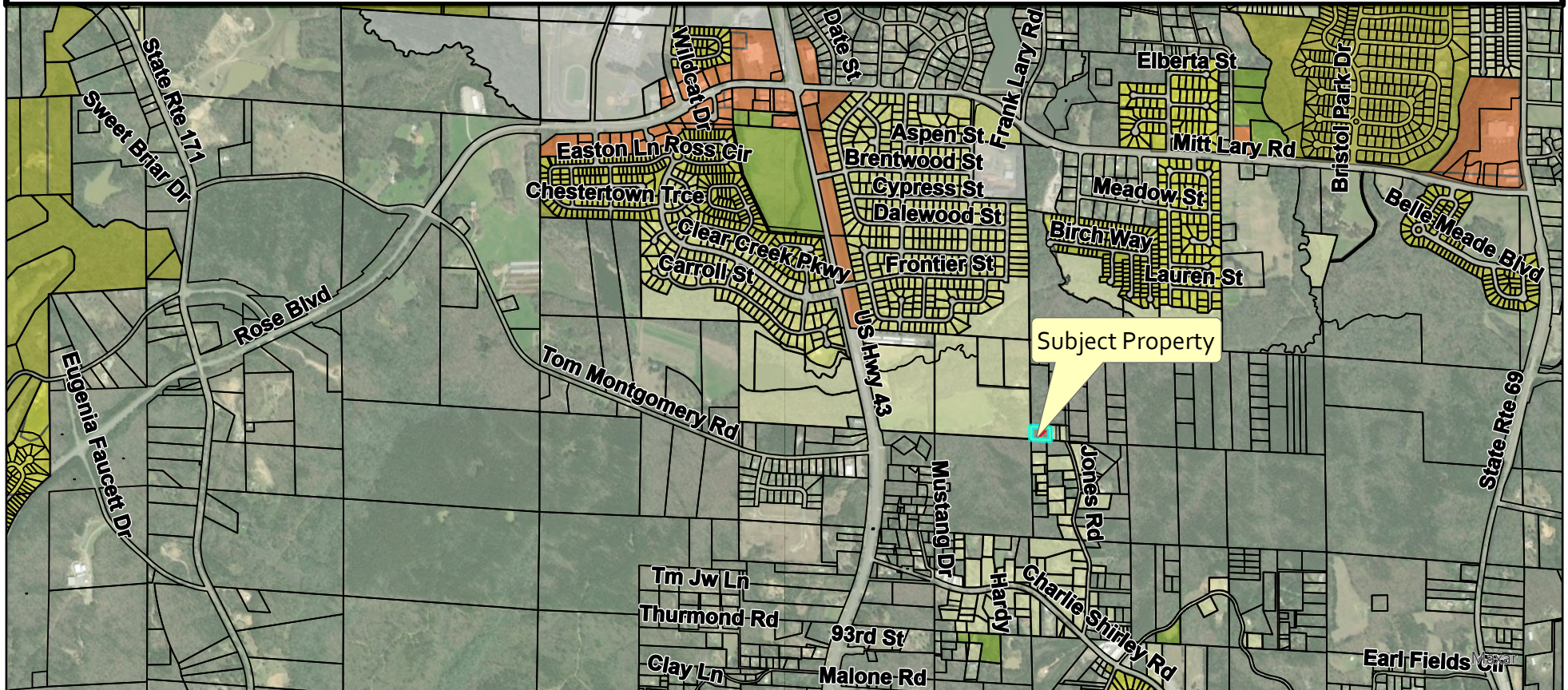
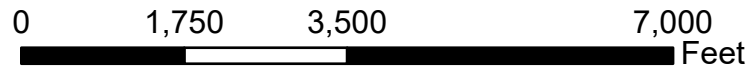
### Zoning

- Agriculture
- Neighborhood Commercial
- General Commercial
- Office and Institutional
- Special District
- Residential Single-Family - 1

- Residential Single-Family - 2
- Residential Single-Family - 3
- Residential Single-Family - 4
- Parcels
- Subject Property



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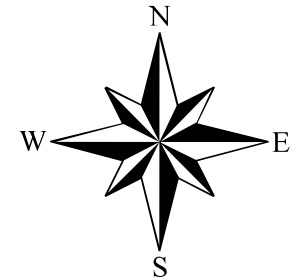
# City of Northport Planning Commission

## Annexation Request

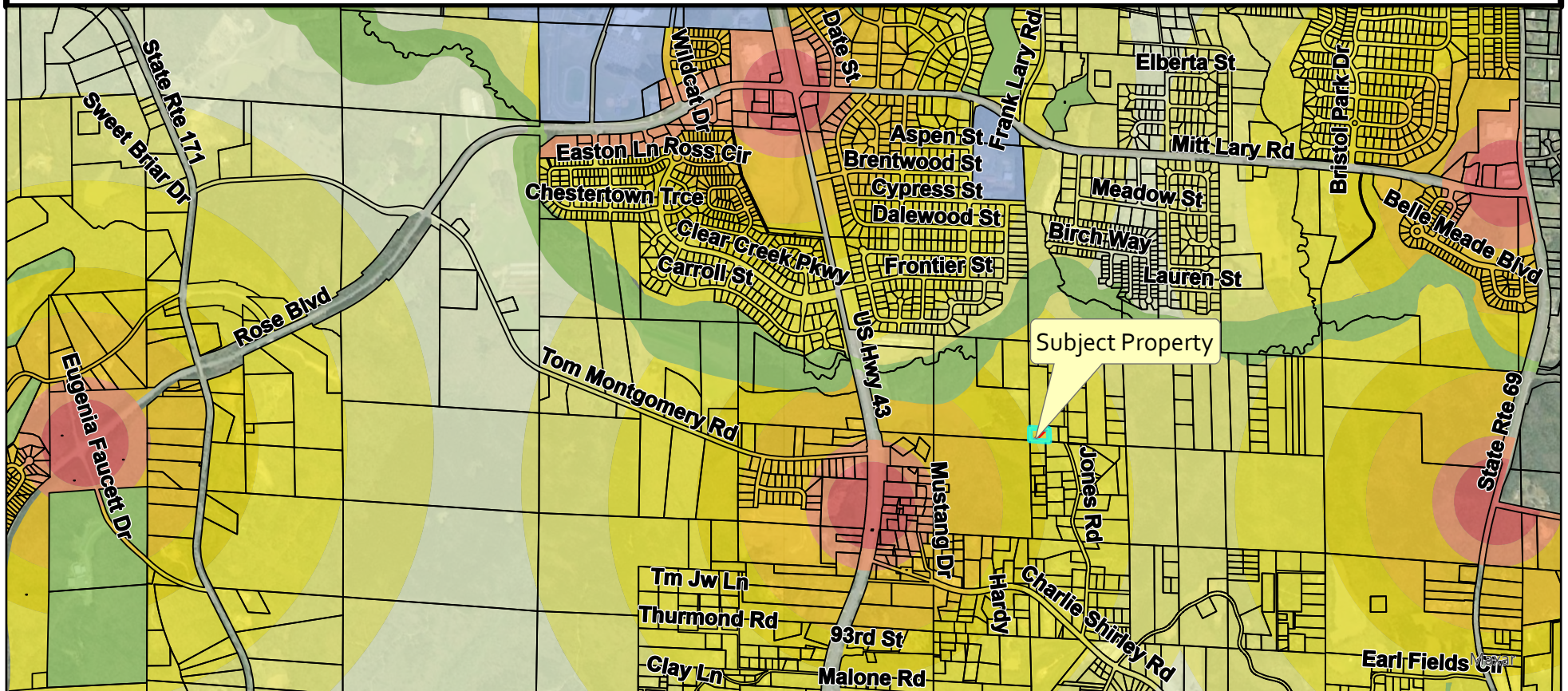
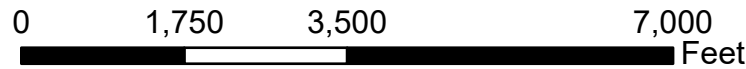
### Future Land Use

- Conservation
- Conservation Floodway
- General Mixed-Use
- Limited Mixed-Use
- High Density Residential
- High to Medium Density Transition
- Medium Density Residential
- Medium to Low Density Transition

- Low Density Residential
- Institutional
- Utilities
- Parcels
- Subject Property

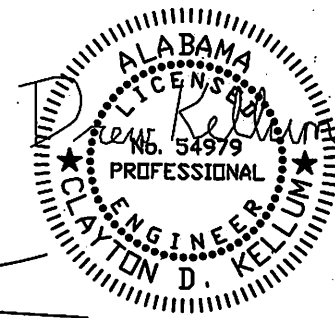
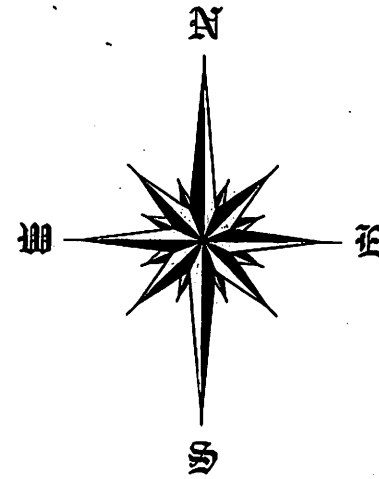
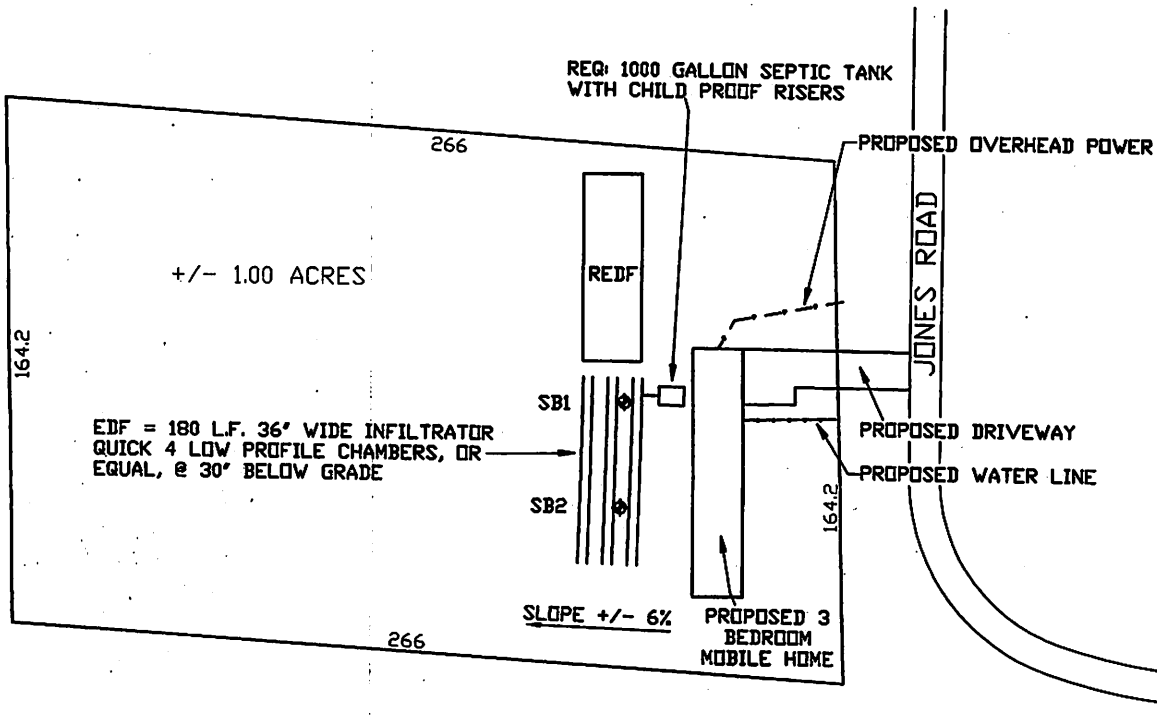


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Subject property as  
seen from Jones Rd  
looking west.



NOTES: THIS IS NOT A FIELD RUN SURVEY, ONLY A SKETCH.  
 UTILITIES ARE APPROXIMATE.  
 INSTALLER AND/OR CUSTOMER TO CONTACT ENGINEER, IF ANY CHANGES ARE TO BE MADE TO THIS DESIGN.



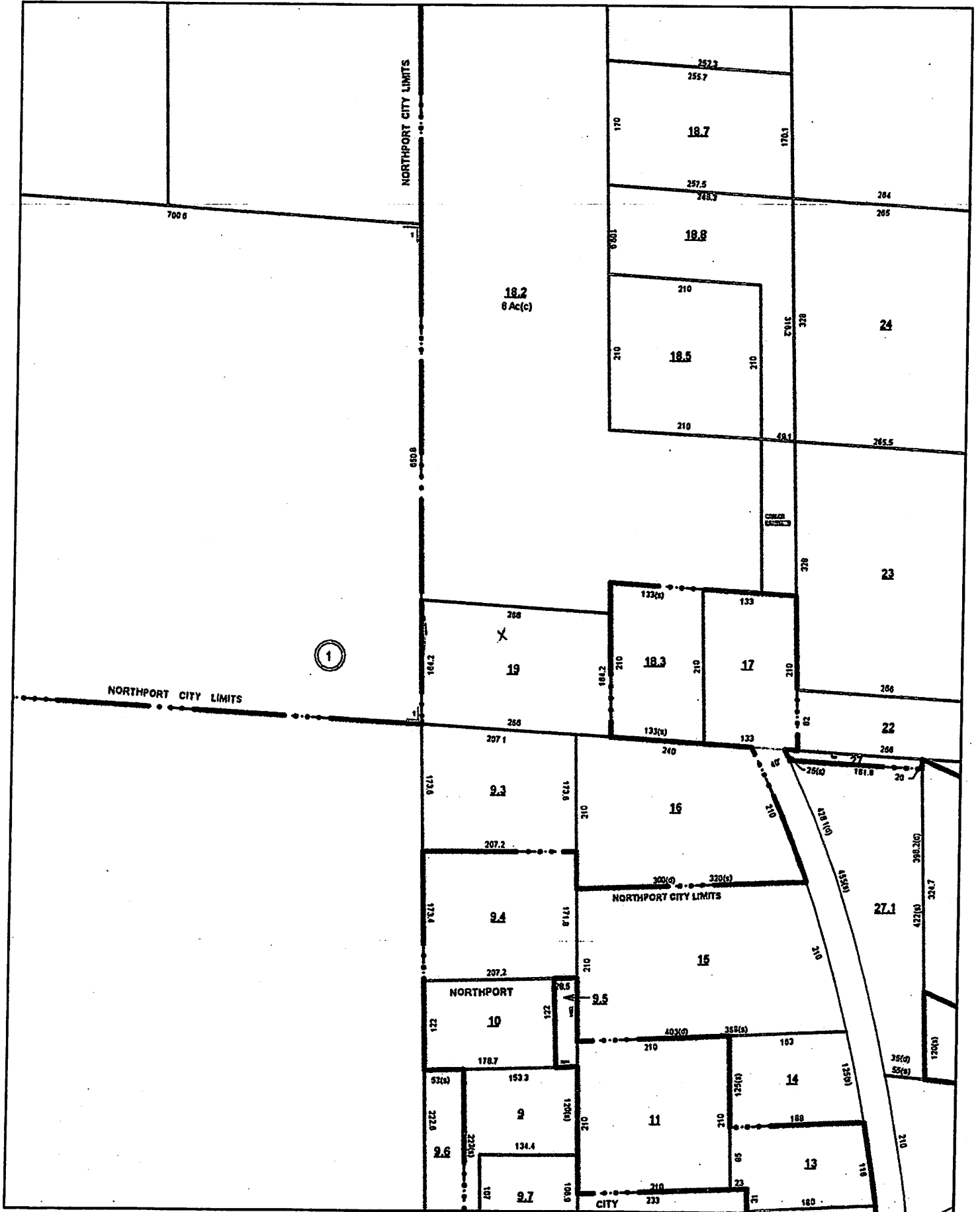
TUSCALOOSA ENGINEERING ASSOCIATES, INC.  
 17910 M BAR S FARM DRIVE  
 FAYETTE, AL 35555  
 (205) 826-7087

SCALE 1" = 50'

DES	DRN	CHK	APPD
-----	-----	-----	------

# Kecia Collins






10470 Jones Rd, Northport, AL 35473



# Kecia Collins

10470 Jones Rd, Northport, AL 35473

**Legend**

-  33 17 31.59 n, 87 35 24.04 w
-  Brown Bag
-  Feature 1
-  Feature 2
-  Zion Grove Baptist Church

33 17 31.59 n, 87 35 24.04 w



**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** SP-25-9 West End Management  
**Applicant:** West End Management, LLC  
**Location:** 2118 Lurleen B Wallace Boulevard  
**Request:** Conditional Use

West End Management, LLC is requesting conditional use approval for Minor Automotive Repair in a General Commercial (C-3) zone for the property located at 2118 Lurleen B Wallace Boulevard. The proposed use would contain a wheel and tire shop in an existing building. No new construction is proposed with this request. The property was previously used as an auto repair shop, but has been vacant for more than six months. As a result, the prior use has lost its legal nonconforming status and now requires conditional use approval to resume similar operations under current zoning regulations.

The current property consists of a vacant commercial building zoned General Commercial (C-3). It is surrounded to the north across 22<sup>nd</sup> Street by an undeveloped lot zoned General Commercial (C-3); to the east across Lurleen B Wallace Blvd by a retail store zoned General Commercial (C-3); to the south by an office building zoned General Commercial (C-3); and to the west by an office building zoned General Commercial (C-3).

Conditional uses are those uses that have some special impact which differs from the potential impacts of permitted uses or exceeds them in intensity, or have uniqueness such that their effect on the surrounding environment cannot be determined in advance of the use being proposed in a particular location. Whereas a use permitted by right has already been evaluated to fit within a zoning district, conditional uses must be evaluated on a case-by-case basis for compatibility at their proposed location.

The Planning Commission may attach to any recommendation for conditional use approval additional criteria dealing with bufferyards, parking, lighting, building materials, or any other aspect of site plan approval they deem necessary to mitigate the impact of the proposed conditional use on the surrounding property. Some examples of conditions the commission may wish to consider attaching to this recommendation could include:

- **Hours of operation** – The Commission could consider attaching a requirement that this use be limited to normal daytime business hours to minimize adverse impacts to nearby residential property.

- **Screening** – The existing dumpster is considered a legal nonconformity and would not normally be subject to current screening requirements found in the zoning ordinance. The Commission could consider adding a requirement that the dumpster be screened from public view at all times.
- **Vehicle Storage** – The commission could consider adding a requirement that customer vehicles awaiting service or pick-up may only be stored on-site for a maximum of 48 hours.

The draft for the Northport Compass plan shows this area as “Commercial Mix”. The proposed use is not in conflict with the comprehensive plan.









Any action on this item will be a recommendation to the City Council.

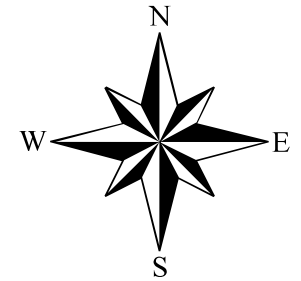
# City of Northport Planning Commission

## Conditional Use

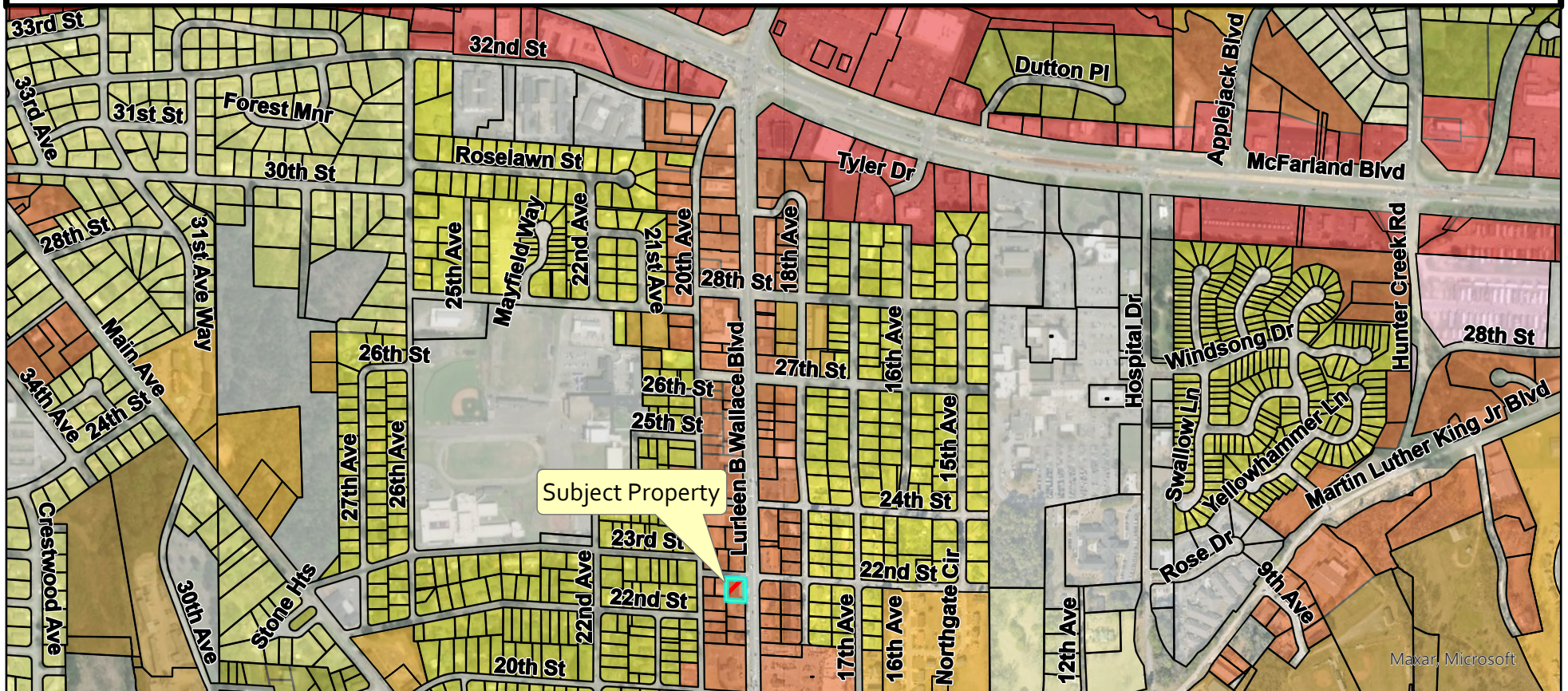
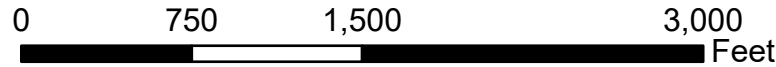
### Zoning

-  Neighborhood Commercial
-  General Commercial
-  Commercial Highway
-  Light Industrial
-  Mobile Home Park
-  Office and Institutional

-  Residential Multi-Family
-  Special District
-  Residential Single-Family - 1
-  Residential Single-Family - 2
-  Residential Single-Family - 3
-  Residential Single-Family - 4
-  Parcels
-  Subject Property



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Maxar, Microsoft

# City of Northport Planning Commission

## Conditional Use

### Future Land Use

- Conservation
- Conservation Floodway
- Conservation Development
- Commercial Mix
- Limited Mixed-Use
- Multifamily Residential
- High Density Residential

High to Medium Density Transition

Medium Density Residential

Low Density Residential

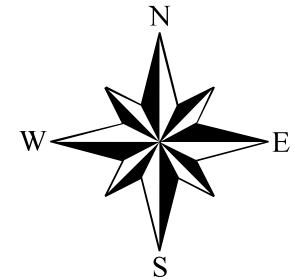
Office-Trades Mix

Institutional

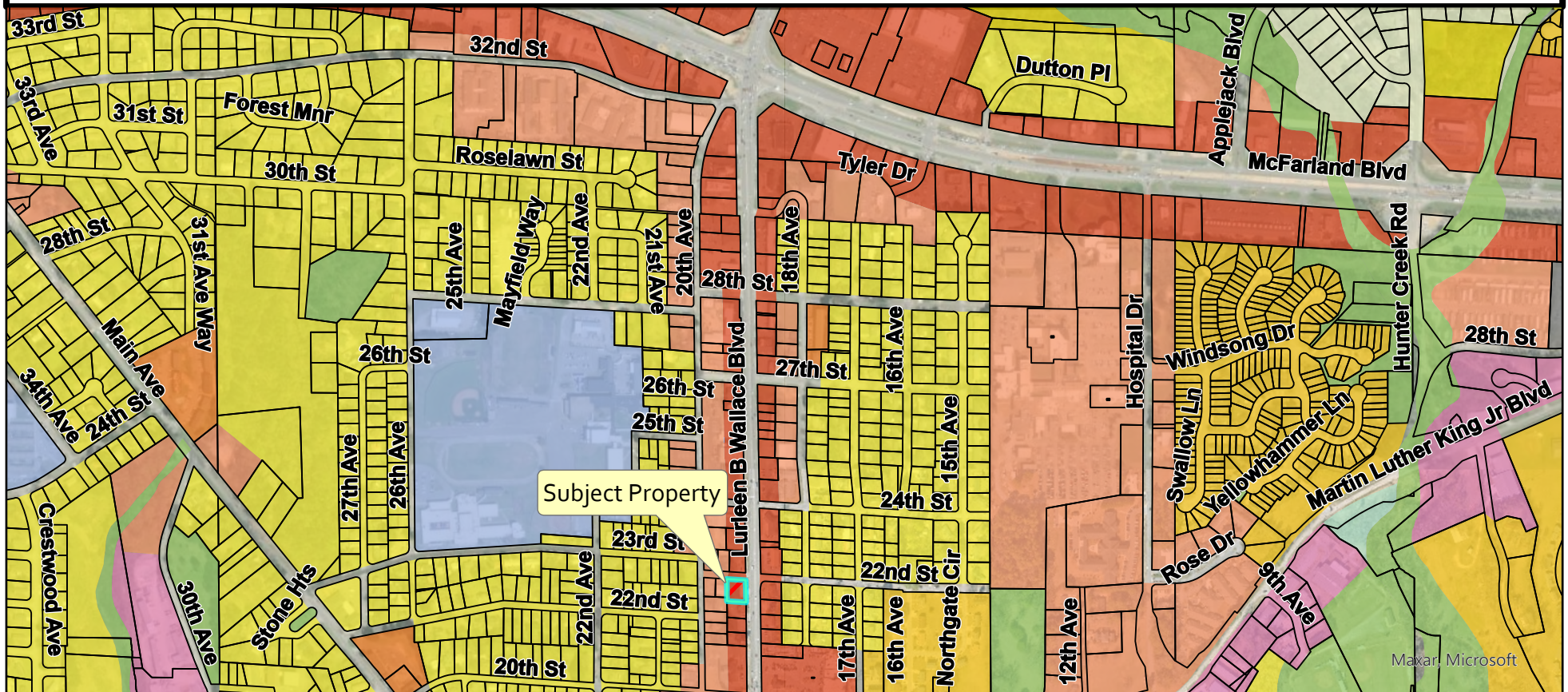
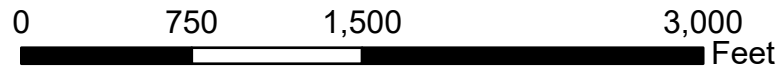
Utilities

Parcels

Subject Property



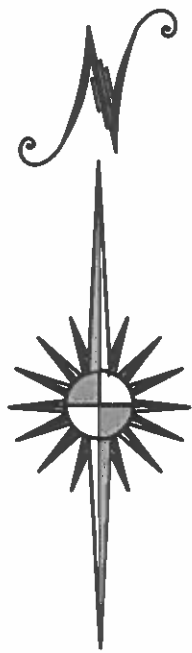
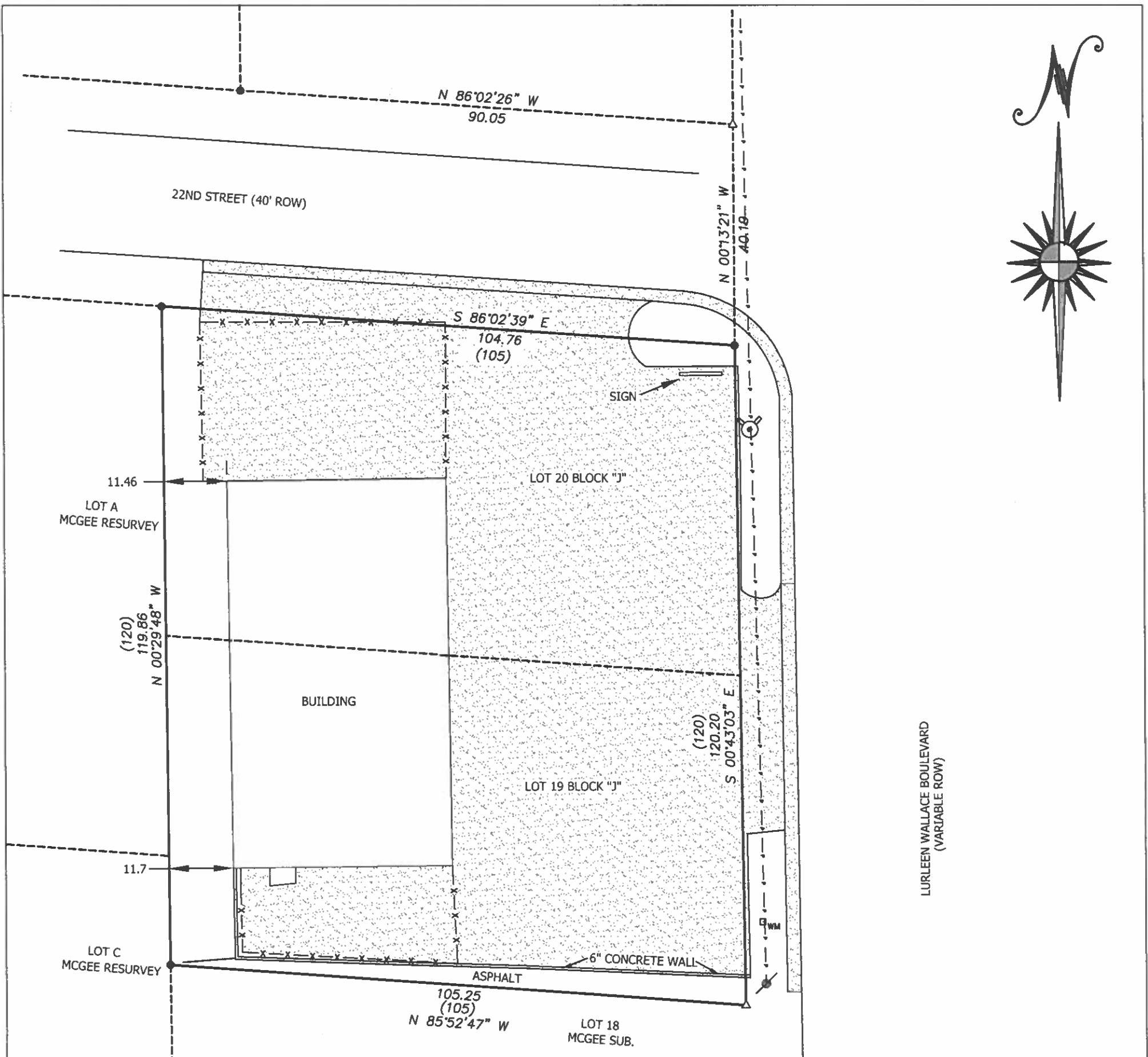
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Maxar, Microsoft

Subject property as seen from the intersection of Lurleen Wallace Blvd and 22<sup>nd</sup> Street looking southwest.





A SURVEY OF THAT CERTAIN PARCEL DESCRIBED IN DEED BOOK 2024 AT PAGE 10170 PROBATE OFFICE TUSCALOOSA COUNTY ALABAMA. BEING ALL OF LOTS 19 AND 20 BLOCK "J" MCGEE SUBDIVISION PLAT BOOK 5 PAGE 52 LESS AND EXCEPT 20 FEET OFF THE EAST SIDE OF SAID LOTS.

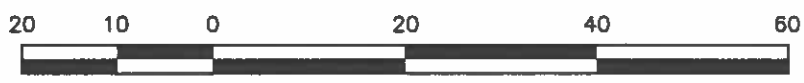
- LEGEND**
- IRON FOUND
  - △ P.K.NAIL
  - ( ) RECORD DIMENSION
  - R.O.W. RIGHT-OF-WAY
  - X- FENCE LINE
  - ⊙ UTILITY POLE
  - P- POWER LINE
  - WM WATER METER
  - ▨ CONCRETE SURFACE
  - ⊕ FIRE HYDRANT

STATE OF ALABAMA  
TUSCALOOSA COUNTY

I, David R. Herndon, a Professional Land Surveyor for the firm of Herndon, Hicks and Associates, Inc., do hereby certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

Witness my hand this 25<sup>th</sup> day of June, 2025.

David R. Herndon, P.L.S.  
Alabama License No. 14105



SCALE: 1" = 20'



**HERNDON, HICKS & ASSOCIATES, INC.**  
 Professional Land Surveyors  
 2728 Lurleen Wallace Blvd. (P.O. Box 508) - Northport, AL 35476  
 Phone (205) 333-0003  
 mike@hhasurveyors.com

Drawn By: DRH	Field Work: 3/24/2025
Scale: 1"=20'	Surveyed By: JRH
Date: 6/25/2025	Appd. By: DRH
Survey Type: CLOSING	Source of Information DB 2024 PG 10170
Job No.: 2506-022	Field Book: 2506-022.TXT

**City of Northport**  
**Planning and Zoning Commission – July 8, 2025**  
**Staff Report**

**Case:** S-25-15 Boozer Subdivision & R-25-8 boozer Subdivision

**Applicant:** Herndon, Hicks and Associates

**Location:** 4105 Flatwoods Road

**Request:** Preliminary Plat

Herndon, Hicks and Associates is requesting preliminary plat approval for approximately 21.63 acres located at 4105 Flatwoods Road. The property is currently contained within one lot. The proposed plat would subdivide the site into two lots. The applicant is also requesting rezoning of this property from Agricultural (AG) to Residential Single-Family (RS-1). Table 4-1 of the zoning ordinance details the uses allowed within the RS-1 zone, while table 6-1 lists the uses allowed within the AG zone. Both of these tables are included at the end of this report.

The following waivers are requested with this plat.

- **Right-of-way Dedication** - A waiver has been requested for ROW dedication on Flatwoods Rd. The existing ROW is 80', which meets the requirements for a street classified as a collector. This waiver is not needed.
- **Half-Street Improvements** - The subdivision regulations require all public right-of-way to have curb and gutter. A waiver has been requested for half-street improvements on Flatwoods Rd. The existing road width is adequate. Curb and gutter would be required by the regulations, but there is none on Flatwoods Rd. in this area.
- **Sidewalks** - The subdivision regulations require that sidewalks be constructed along all right-of-way frontages. A waiver has been requested a waiver for sidewalk construction on Flatwoods Rd. The City's Comprehensive Plan shows this portion of Flatwoods Rd. as a "bike and/or pedestrian connection". There is no public infrastructure proposed as part of this two lot division, so the Commission will need to consider whether requiring the construction of sidewalk is a reasonable expectation in proportion to the subdivision being requested. The bridge over Mill Creek and the associated guardrail would also impact the feasibility of sidewalk construction for part of the adjacent street frontage. The commission would have the option to either 1) require the sidewalks, 2) waive the sidewalk requirement completely, or 3) waive sidewalk construction and require a payment into the sidewalk bank.

The current property consists of a single-family residence zoned Agricultural (AG). It is surrounded to the north across Flatwoods Road by undeveloped property zoned Residential Single-Family (RS-1); to the east by single-family residences, some of which are unincorporated (no zoning) while the rest are zoned Residential Single-Family (RS-1); to the south by undeveloped property, some of which is unincorporated (no zoning) while the rest is zoned Residential Single-Family (RS-1); and to the west by an unincorporated single-family residence (no zoning).

The future land use plan contained within Northport Compass depicts this property as “High Density Residential”. The request is not in conflict with the comprehensive plan.

Any action on the subdivision item will require 6 affirmative votes. Should this agenda item fail, the reasons for any non-affirmative votes must be stated on the record. Any approval of this plat should be contingent upon rezoning being approved by City Council.

Any action on the rezoning will be a recommendation to City Council.

Table 4-1 showing uses allowed within Residential zoning districts:

	RS-1	RS-2	RS-3	RM
<b>Residential Uses</b>				
Assisted and independent living facilities				C
Boarding house				C
Cottage development, subject to <a href="#">§7.10</a>				P
Duplex, subject to <a href="#">§7.12</a>				P
Manufactured home subdivision				C
Manufactured home park, subject to <a href="#">§7.28</a>				C
Multifamily dwellings, subject to <a href="#">§7.31</a>				P
Single-family dwelling, detached	P	P	P	P
Single-family dwelling, Zero Lot Line, subject to <a href="#">§7.49</a>				P
Townhouse, subject to <a href="#">§7.45</a>				P
Twin houses, subject to <a href="#">§7.46</a>				P
<b>Nonresidential Uses</b>				
Amateur radio tower, subject to <a href="#">§3.04.04.F</a>	P	P	P	
Bed and breakfast, subject to <a href="#">§7.05</a>	C	C	C	
Cemetery, accessory to place of worship	C	C	C	C
Cemetery, as a principal use				C
Community center	C	C	C	P
Country club	C	C	C	C
Day care and Nighttime care centers	C	C	C	C
Extended care facility				C
Family day care and Nighttime homes, subject to <a href="#">§7.14</a>	P	P	P	P
Family care home, subject to <a href="#">§7.19</a>				P
Golf course	P	P	P	P
Group day care home, subject to <a href="#">§7.14</a>	C	C	C	C
Group homes, other than Family Care Homes, subject to <a href="#">§7.19</a>				C
Home occupation, subject to <a href="#">§7.21</a>	P	P	P	P
Park, playground, nature preserve	P	P	P	P
Parking, freestanding	C	C	C	C
Place of worship, subject to <a href="#">§7.34</a>	C	C	C	P
Public facility	P	P	P	P
Public utility facility, major	C	C	C	C
Public utility facility, minor	P	P	P	P
Recreational facilities, accessory (swimming pools, tennis courts)	P	P	P	P
Schools, private	C	C	C	C
Short-term rental, subject to <a href="#">§7.40</a>	P	P	P	P
P – The use is permitted by right		A blank cell indicates the use is prohibited.		
C – The use requires Conditional Use approval, see <a href="#">§12.05</a>				

**Table 6-1 showing uses allowed with the Agricultural zoning district:**

**Table 6-1: Permitted Uses, AG District**

P: The use is permitted by right			
C: The use requires Conditional Use approval, see <a href="#">§12.05</a>			
<b>Agricultural and Agricultural Support Uses</b>		<b>Commercial Uses</b>	
Agricultural and farming	P	Artisanal Manufacturing	C
Farm equipment sales and repair	C	Bed and Breakfast, subject to <a href="#">§7.05</a>	C
Farm produce sales	P	Greenhouse	P
Farm produce supply	P	Kennel	C
Farm product processing (dairies, cider mills)	C	Nursery, Wholesale	C
Forestry	P	Veterinary Office without outdoor pens	P
<b>Residential Uses</b>		Veterinary Office with outdoor pens	C
Single-family dwellings, detached	P	<b>Recreation and Entertainment Uses</b>	
<b>Institutional Uses and Utilities</b>		Campground	C
Cemetery	P	Fairground, subject to <a href="#">§7.25</a>	C
Place of Worship, subject to <a href="#">§7.34</a>	P	Golf course and driving ranges	C
Public Facility	C	Park	P
Public utility facility, Major	C	Recreational vehicle park, subject to <a href="#">§7.35</a>	C
Public utility facility, Minor	P	<b>Industrial Uses</b>	
Telecommunication Tower, subject to <a href="#">§7.06</a>	P	Resource extraction, subject to <a href="#">§7.29</a>	C
Utility service yard or garage	C		

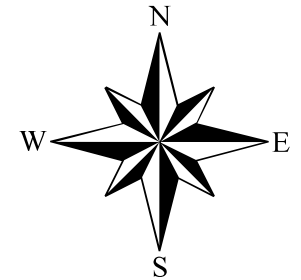
# City of Northport Planning Commission

## Rezoning Request

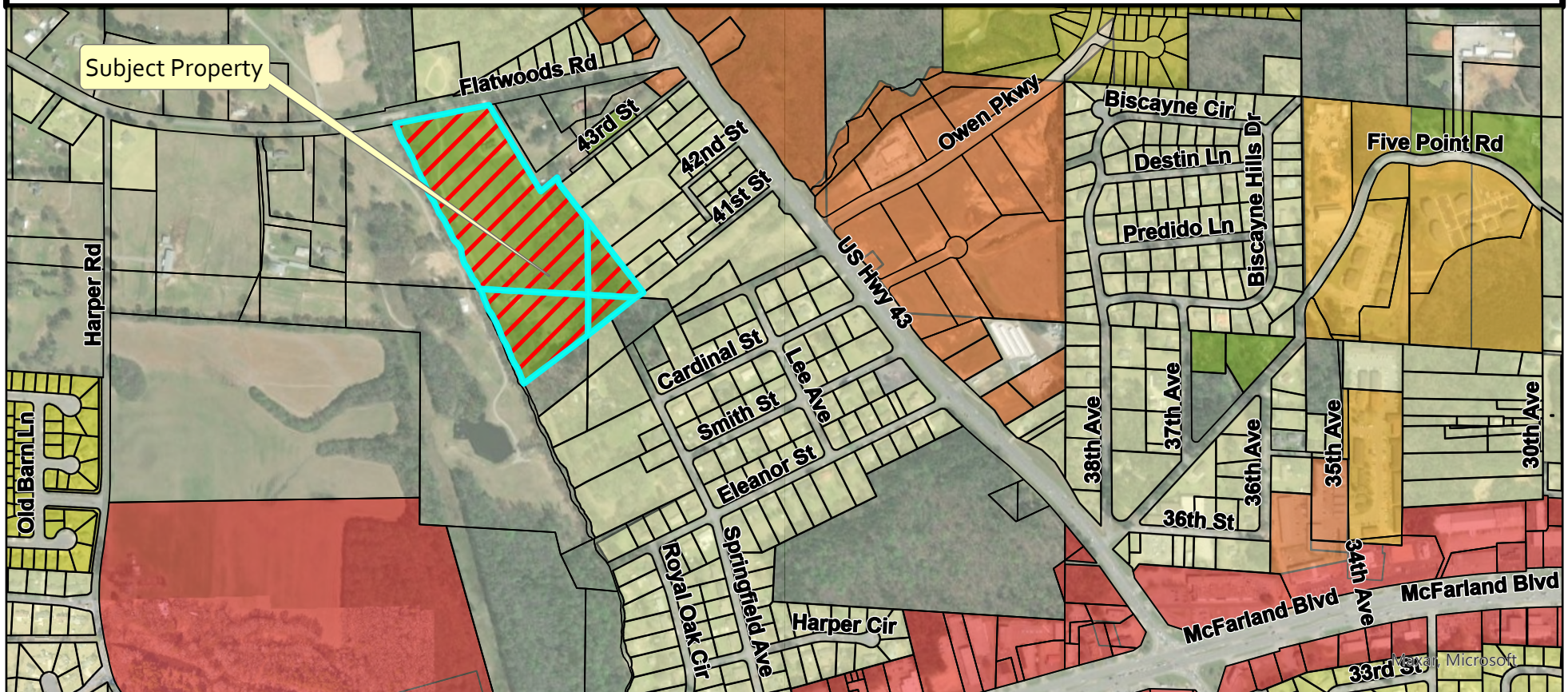
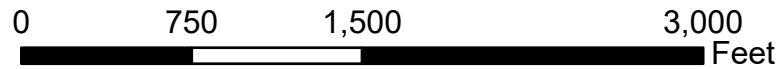
### Zoning

- Agriculture
- General Commercial
- Commercial Highway
- Office and Institutional
- Residential Multi-Family
- Special District

- Residential Single-Family - 1
- Residential Single-Family - 2
- Residential Single-Family - 4
- Parcels
- Parcels selection

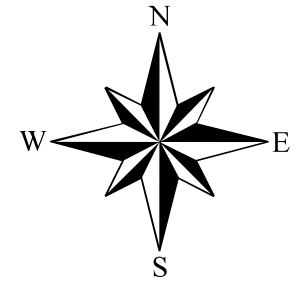


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# City of Northport Planning Commission

## Rezoning Request

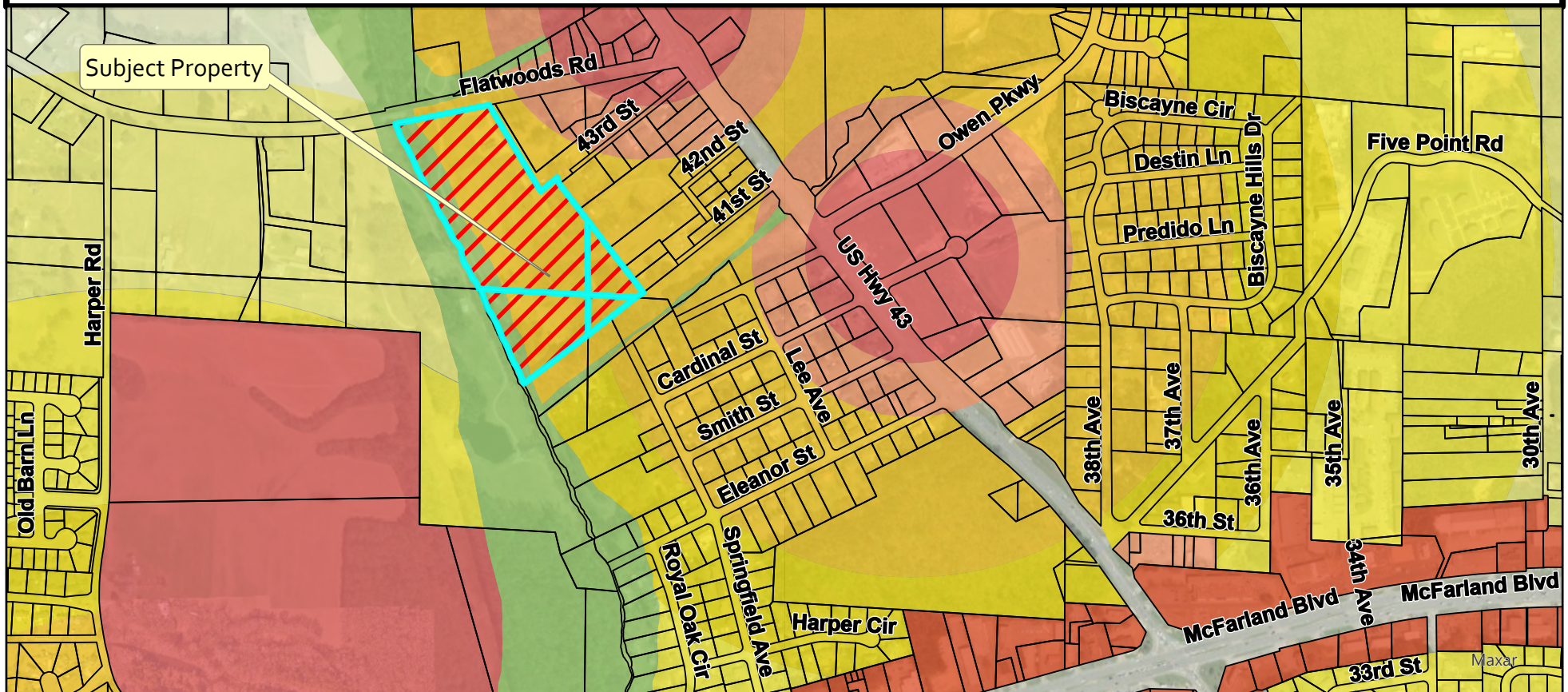
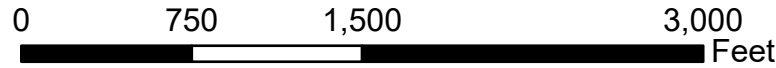


### Future Land Use

- Conservation Floodway
- Commercial Mix
- General Mixed-Use
- Limited Mixed-Use
- High Density Residential
- High to Medium Density Transition
- Medium Density Residential
- Medium to Low Density Transition

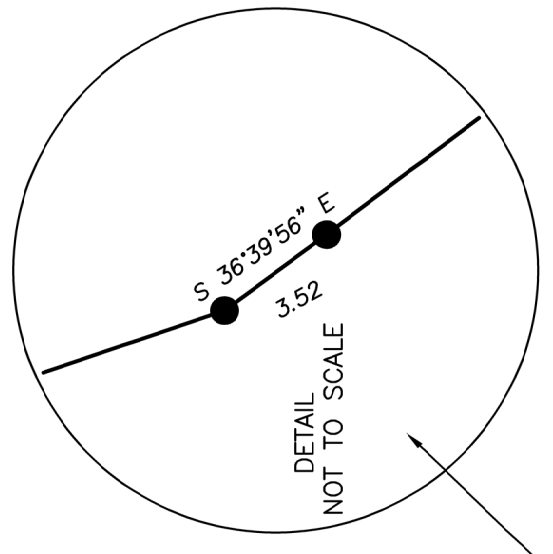
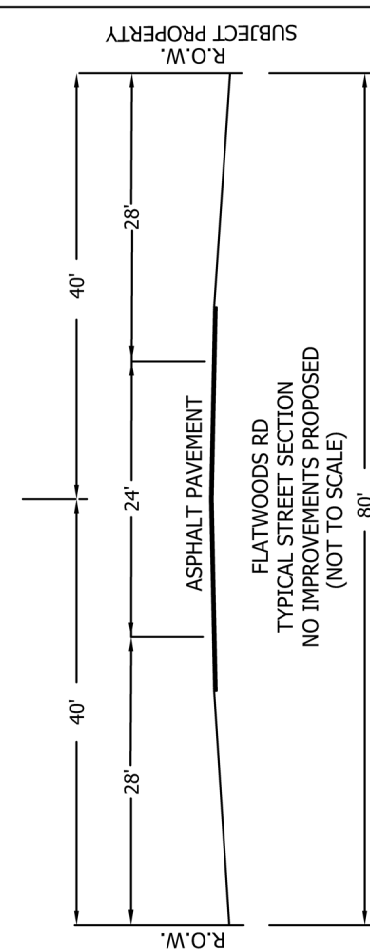
- Low Density Residential
- Utilities
- Parcels
- Parcels selection

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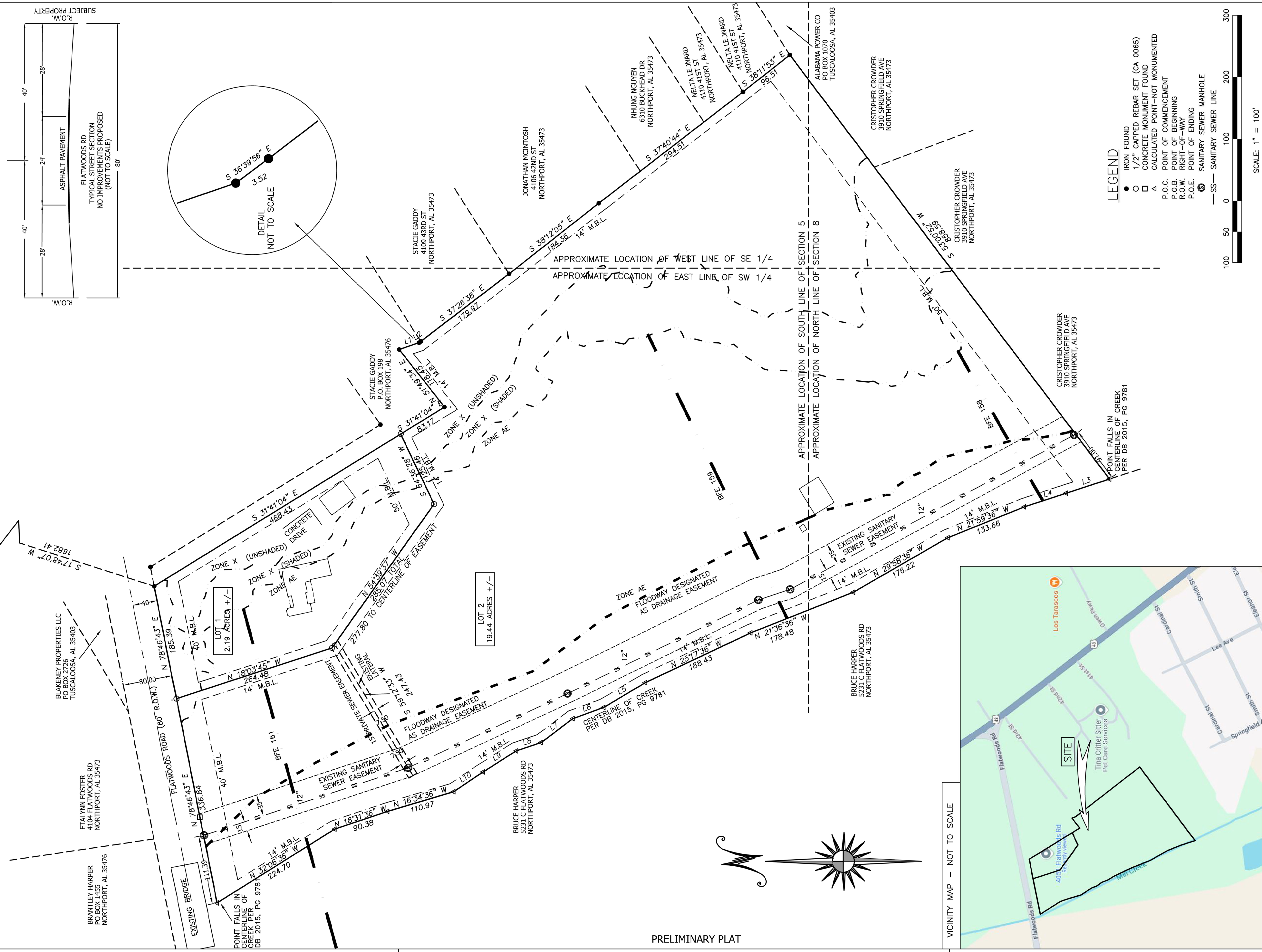




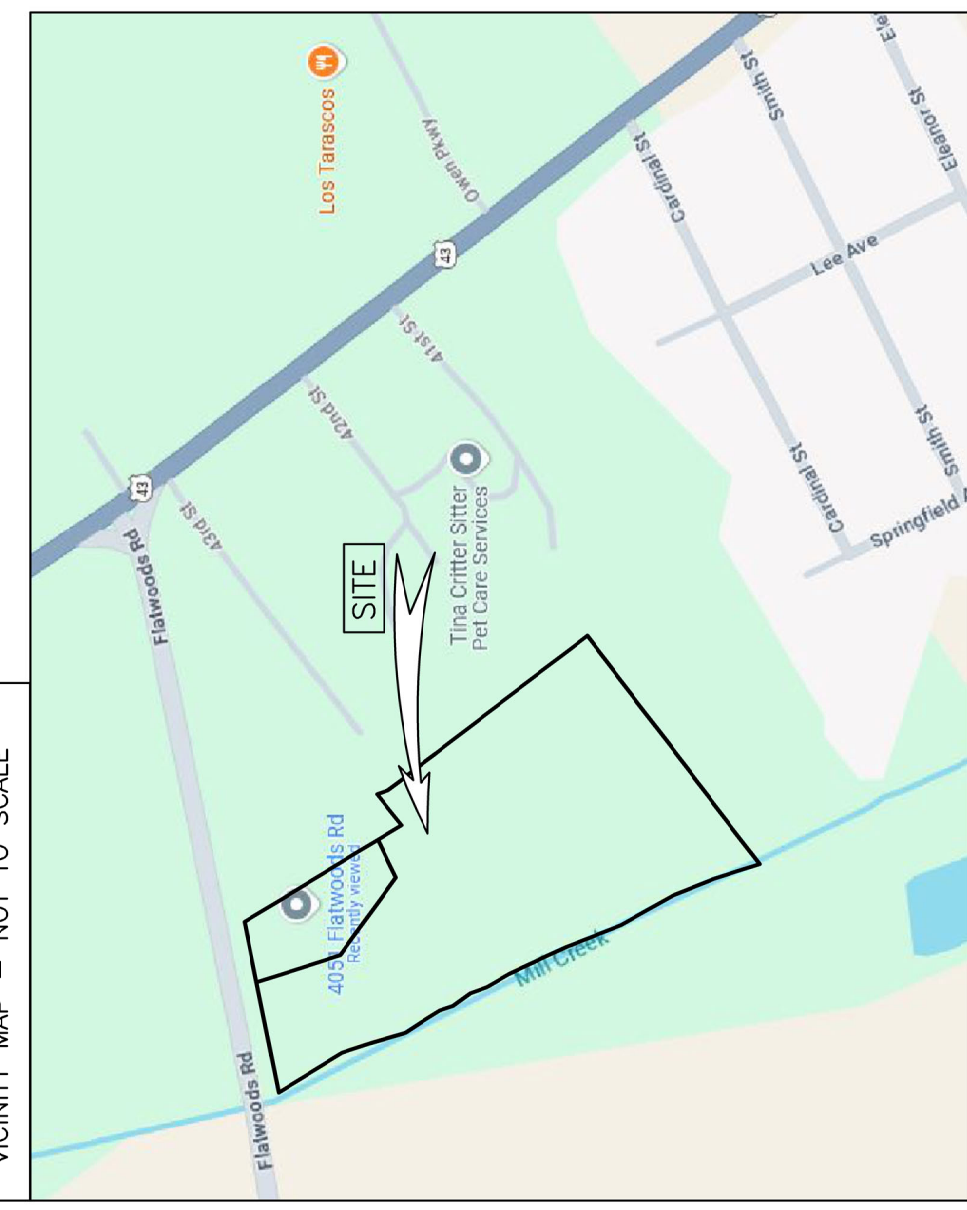
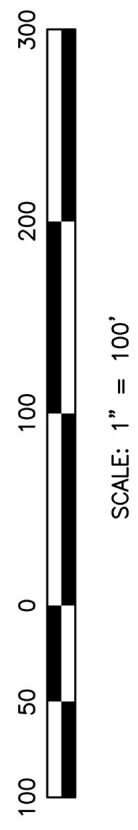
- NOTES:
- TOTAL ACRES OWNED: 21.63
  - TOTAL ACRES DEVELOPED: 21.63
  - OWNER/DEVELOPER: LEE & BELINDA BOOZER  
4104 FLATWOODS RD  
NORTHPORT, AL 35473
  - PROPERTY IS ZONED: AG, ASKING FOR RST ZONING IN THIS PROCESS
  - SPACES BETWEEN LOTS: 10 FEET
  - SITE IS SERVED BY CITY OF NORTHPORT SEWER
  - PER FEMA FLOOD MAP 011250501G EFF 1/16/2014 PART OF SUBJECT PROPERTY LIES WITHIN THE REGULATORY FLOODWAY.
  - CONTOURS TAKEN FROM COUNTY TOPO
  - LAND SURVEYOR: BOBBY HERNDON LICENSE NO. 14105  
2728 WALLACE BLVD  
NORTHPORT, AL 35476
  - MINIMUM BUILDING LINES ARE AS FOLLOWS:  
FRONT: 40'  
REAR: 50'  
SIDE: 14'
  - WAIVERS REQUESTED: A: ADDITIONAL RIGHT OF WAY  
B: HALF STREET IMPROVEMENTS  
C: SIDEWALKS
  - FLOODWAY AREA IS DESIGNATED AS A DRAINAGE EASEMENT



LINE NO.	BEARING	DISTANCE
L1	S 18°55'09\"/>	



- LEGEND
- IRON FOUND
  - 1/2" CAPPED REBAR SET (CA 0065)
  - CONCRETE MONUMENT FOUND
  - △ CALCULATED POINT-NOT MONUMENTED
  - P.O.C. POINT OF COMMENCEMENT
  - P.O.B. POINT-OF-BEGINNING
  - R.O.W. RIGHT-OF-WAY
  - P.O.E. POINT OF ENDING
  - SS— SANITARY SEWER MANHOLE
  - SS— SANITARY SEWER LINE



**HERNDON, HICKS & ASSOCIATES, INC.**  
Professional Land Surveyors  
2728 Lurleen Wallace Blvd. (P.O. Box 508) - Northport, AL 35476  
Phone (205) 333-0003  
mike@hhasurveyors.com

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Source	DB 2015 PG 9781	Job No.	2501-018
Field Work	2/2025	Date	6/23/2025
Survey Type	BOUNDARY	Scale	1"=100'
ACAD File	2501-018.dwg	Drawn By	JRH
Coordinate File	2501-018.txt	Approved By	DRH
		Surveyed by	WJN